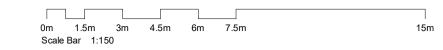


NOT For Construction



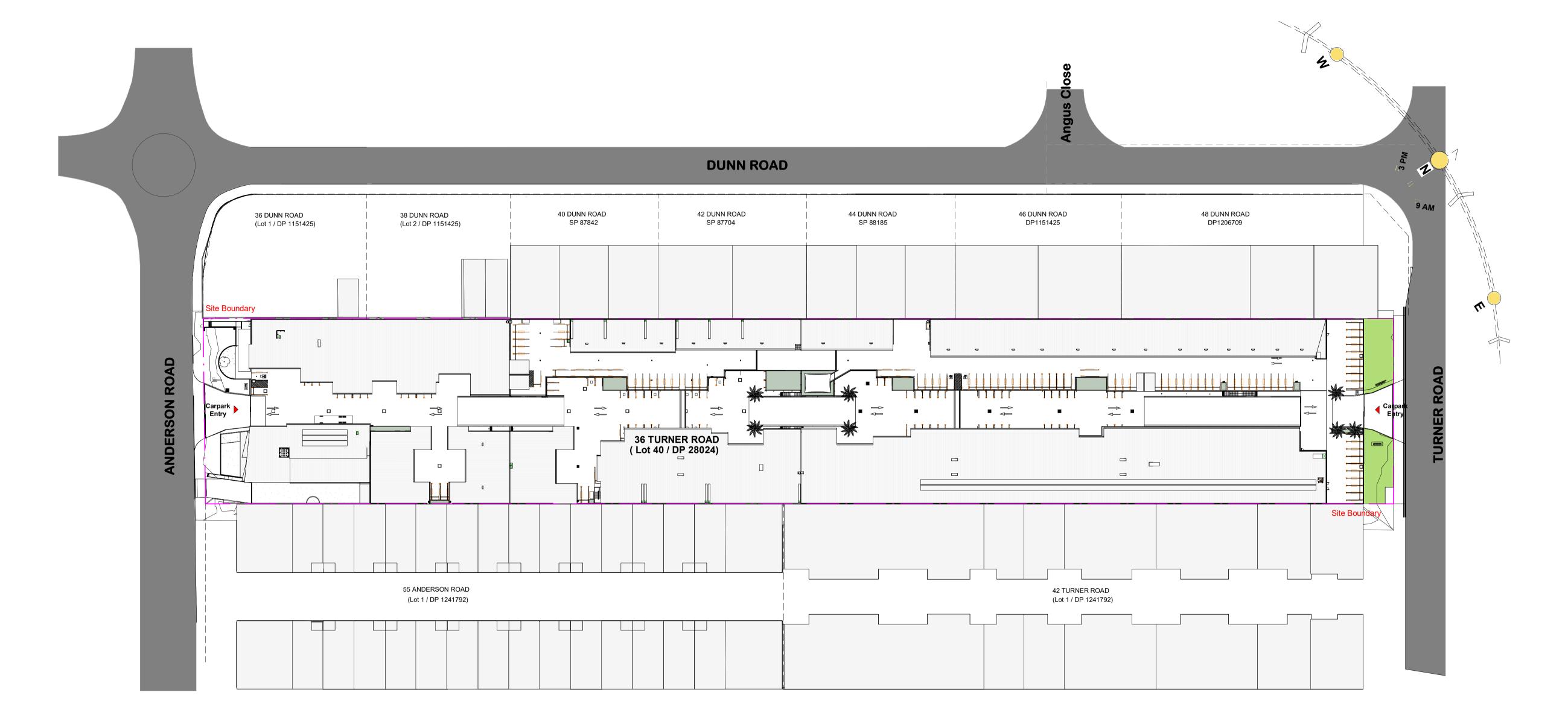
General Notes

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - **242-20SP**. All Levels Indicated Taken To Australian Height Datum (AHD)

Levels Prefixed With *RL. Are Interpreted From Existing Survey Information, Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

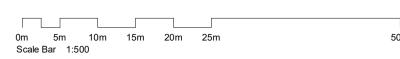
All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.

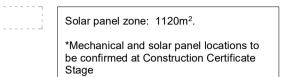


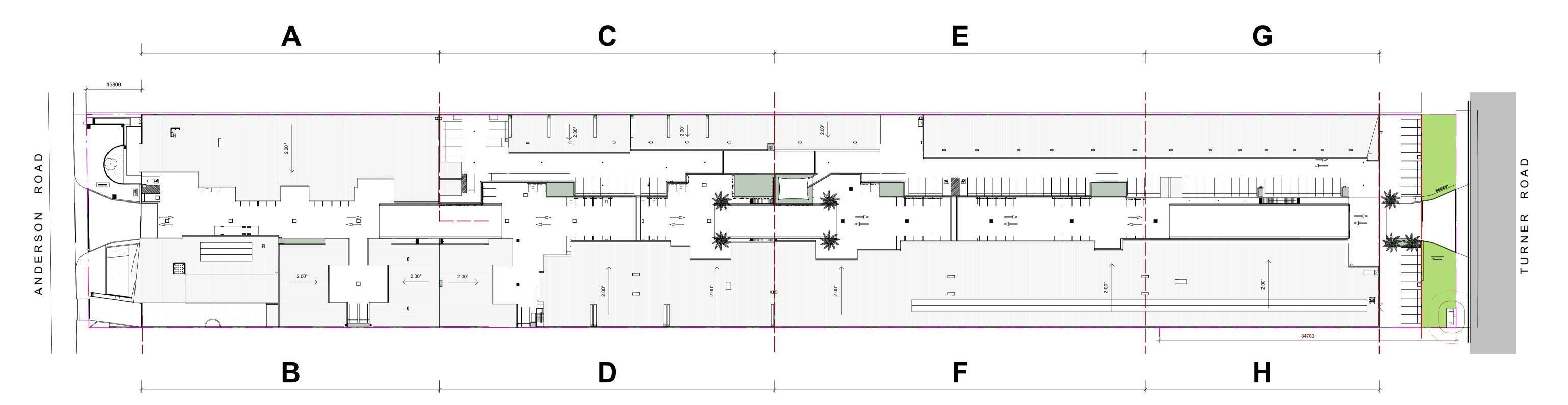
B A	DA Amended F Issue for Deve	Plans lopment Applicati	on		11.07.2022 18.05.2022
Rev		Des	scription		Date
6/80		Neutral Bay N		ers Pty	Ltd
Tu	rner Ro	oad			
		•	Smeaton	Grange,	
Title					
Sit	e Plan				
Scale	e A1@	As indicated	Date	Septem	ber 2022
JOB	No.		DWG N	lo.	
	BVR4	122		DA.C	10 B

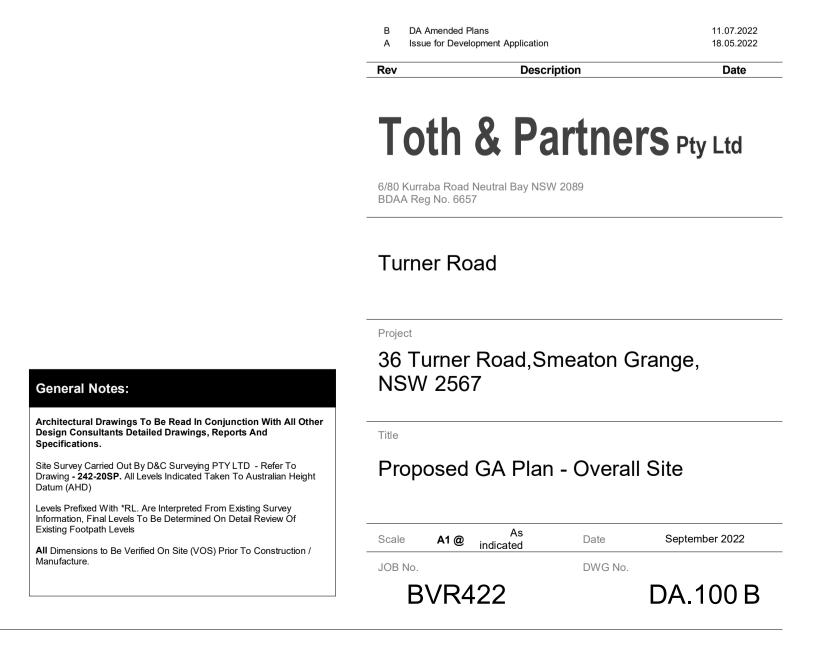


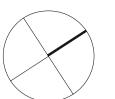
NOT For Construction

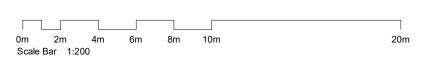












FHR Fire Hose Reel (Installation To Comply To AS2441)

IGA1 In ground grease arrestor 1500 ltrs

IGA2 In ground grease arrestor 2000 ltrs

SWP Stormwater Pit - Refer To Civil Engineers Drawings

DRINKS	Level	Name	Number	Area
DRINKS				
Podium 1 Mezzanine Site Office 1A 75 75	Podium 1		1	159 m²
Podium 1				159 m²
Podium 1	Podium 1 Mezzanine	Site Office	1A	75 m²
Podium 1 Mezzanine				75 m²
OFFICE 206	Podium 1	LIGHT INDUSTRY UNIT	2	161 m²
Podium 1	Podium 1 Mezzanine		2	45 m²
Podium 1 Mezzanine				206 m ²
Podium 1 Mezzanine	Podium 1	LICHT INDUCTOV LINIT	2	196 m²
OFFICE 240				44 m ²
Podium 1	odidin i Mozzanino			
Podium 1 Mezzanine				240 m ²
Podium 1 Mezzanine	Podium 1	LIGHT INDUSTRY UNIT	5	196 m²
Podium 1		LIGHT INDUSTRY MEZZ		44 m²
Podium 1		OFFICE		040
Podium 1 Mezzanine				240 m ²
OFFICE	Podium 1	LIGHT INDUSTRY UNIT	6	143 m²
Podium 1	Podium 1 Mezzanine		6	52 m²
Podium 1 Mezzanine				195 m²
OFFICE 240	Podium 1	LIGHT INDUSTRY UNIT	7	196 m²
Podium 1 LIGHT INDUSTRY UNIT 8 144 Podium 1 Mezzanine LIGHT INDUSTRY MEZZ 8 56 OFFICE 200 Podium 1 LIGHT INDUSTRY UNIT 9 194 Podium 1 Mezzanine LIGHT INDUSTRY MEZZ 9 46 OFFICE 240 Podium 1 Mezzanine LIGHT INDUSTRY UNIT 10 147 Podium 1 Mezzanine LIGHT INDUSTRY MEZZ 10 52 Podium 1 Mezzanine LIGHT INDUSTRY UNIT 11 308 Podium 1 Mezzanine LIGHT INDUSTRY MEZZ 11 89 OFFICE 0FFICE 89	Podium 1 Mezzanine		7	44 m²
Podium 1 Mezzanine				240 m ²
Podium 1 Mezzanine	Podium 1	LIGHT INDUSTRY UNIT	8	144 m²
Podium 1 LIGHT INDUSTRY UNIT 9 192 Podium 1 Mezzanine LIGHT INDUSTRY MEZZ 9 46 OFFICE 240 Podium 1 LIGHT INDUSTRY UNIT 10 147 Podium 1 Mezzanine LIGHT INDUSTRY MEZZ 10 52 OFFICE 199 Podium 1 LIGHT INDUSTRY UNIT 11 308 Podium 1 Mezzanine LIGHT INDUSTRY MEZZ 11 89 OFFICE 0FFICE 89	Podium 1 Mezzanine			56 m²
Podium 1 Mezzanine				200 m ²
Podium 1 Mezzanine	Podium 1	LIGHT INDUSTRY UNIT	9	194 m²
240 Podium 1				46 m ²
Podium 1 LIGHT INDUSTRY UNIT 10 147 Podium 1 Mezzanine LIGHT INDUSTRY MEZZ 10 52 OFFICE 199 Podium 1 LIGHT INDUSTRY UNIT 11 308 Podium 1 Mezzanine LIGHT INDUSTRY MEZZ 11 89 OFFICE 0FFICE 89		OFFICE		240 m ²
Podium 1 Mezzanine				
OFFICE 1990			_	147 m²
1998 Podium 1	odium 1 Mezzanine		10	52 m²
Podium 1 Mezzanine LIGHT INDUSTRY MEZZ 11 89 OFFICE			l	199 m ²
Podium 1 Mezzanine LIGHT INDUSTRY MEZZ 11 89 OFFICE	Podium 1	LIGHT INDUSTRY UNIT	11	308 m²
		LIGHT INDUSTRY MEZZ		89 m²
397		OFFICE		207
				397 m²
Podium 1 LIGHT INDUSTRY UNIT 12 148	Podium 1	LIGHT INDUSTRY UNIT	12	148 m²
		LIGHT INDUSTRY MEZZ		56 m²
204			ı	204 m²

Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089 BDAA Reg No. 6657

D Issue for CouncilC Issue for Council Review

A Issue for Development Application

B DA Amended Plans

Turner Road

Project

36 Turner Road,Smeaton Grange, NSW 2567

Title

General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

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All Dimensions to Be Verified On Site (VOS) Prior To Construction /

Proposed Podium 1 Anderson Rd

Scale	A1 @	As indicated	Date	September 2022
JOB No.			DWG No.	

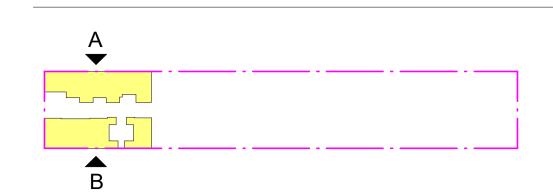
BVR422

DA.101 D

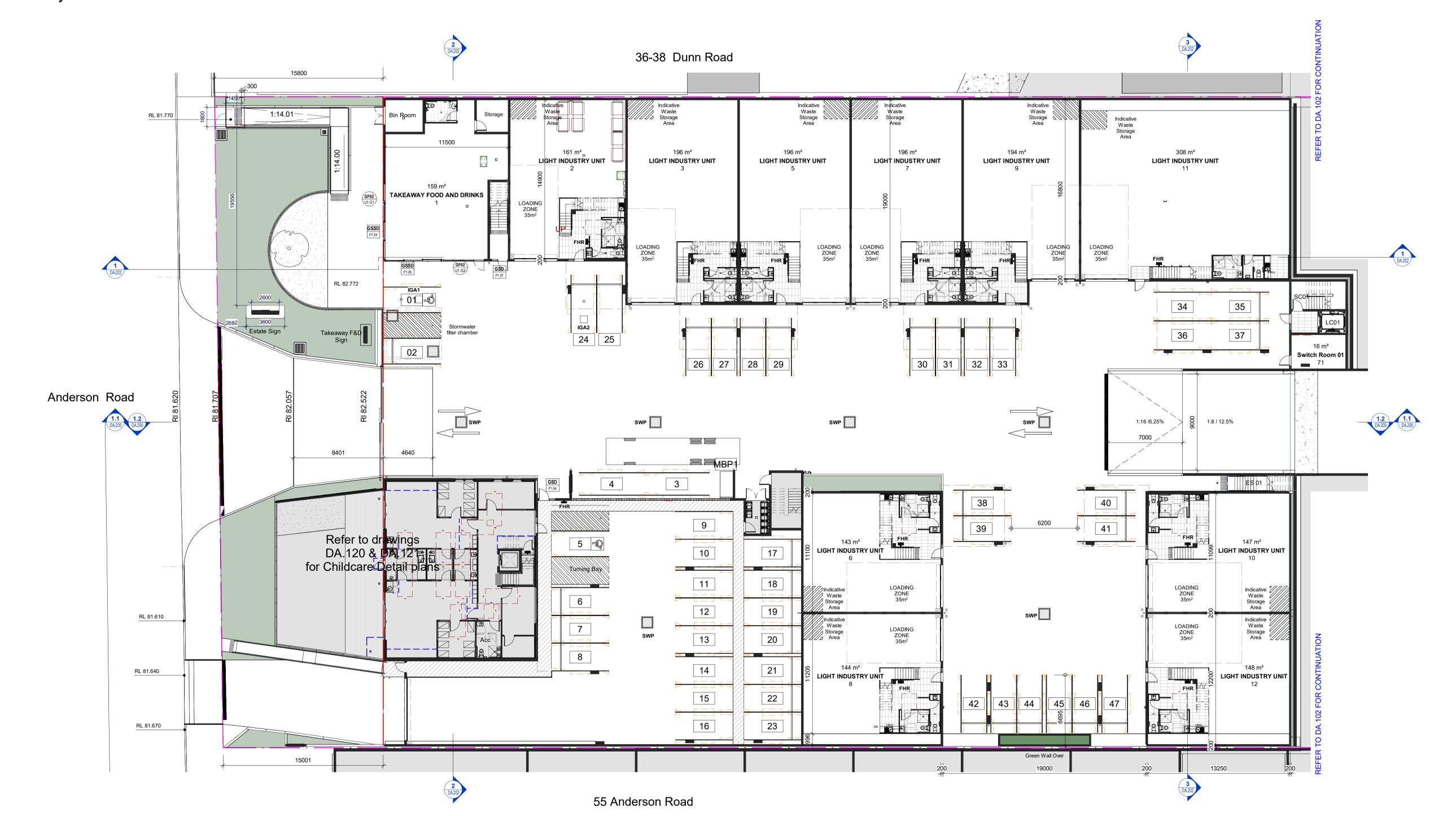
27.09.2022 15.09.2022

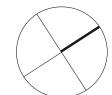
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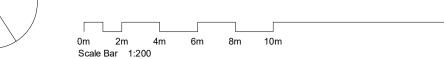
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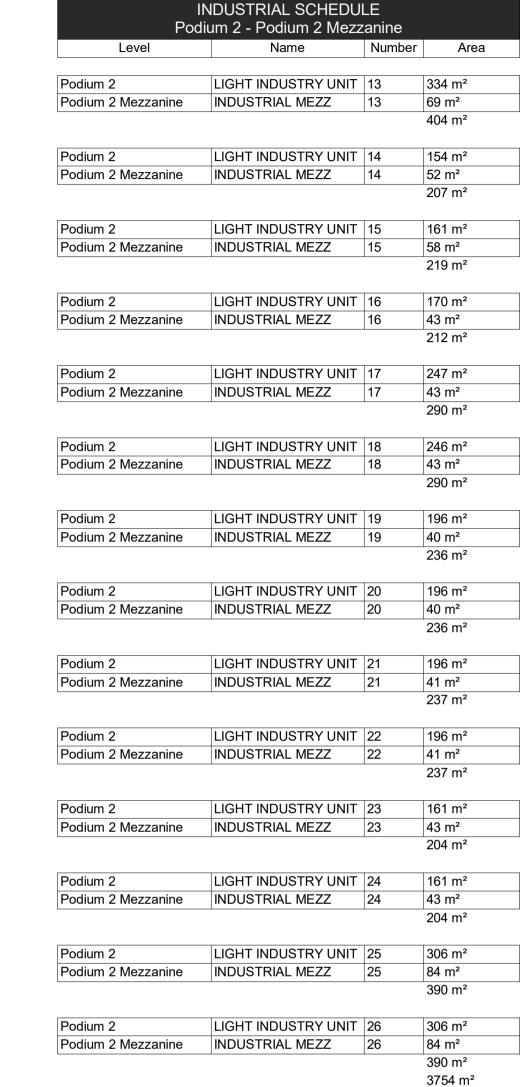


Key Plan









Code	Description
BTFW	Bucket Trap Floor Waste
FHD	Fire Hydrant Double - Refer To Hydraulic Engineers Details
FHR	Fire Hose Reel (Installation To Comply To AS2441)
IGA1	In ground grease arrestor 1500 ltrs
IGA2	In ground grease arrestor 2000 ltrs
SWP	Stormwater Pit - Refer To Civil Engineers Drawings

D Issue for Council
 C Issue for Council Review
 B DA Amended Plans
 A Issue for Development Application

27.09.2022 15.09.2022 11.07.2022 18.05.2022

Date

Description

Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089 BDAA Reg No. 6657

Turner Road

Project

36 Turner Road, Smeaton Grange, NSW 2567

Title

General Notes:

Specifications.

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And

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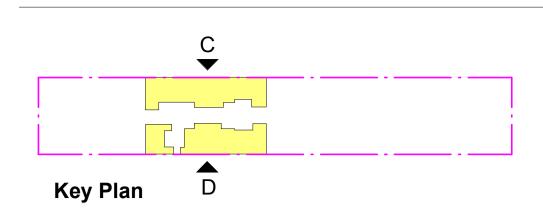
All Dimensions to Be Verified On Site (VOS) Prior To Construction /

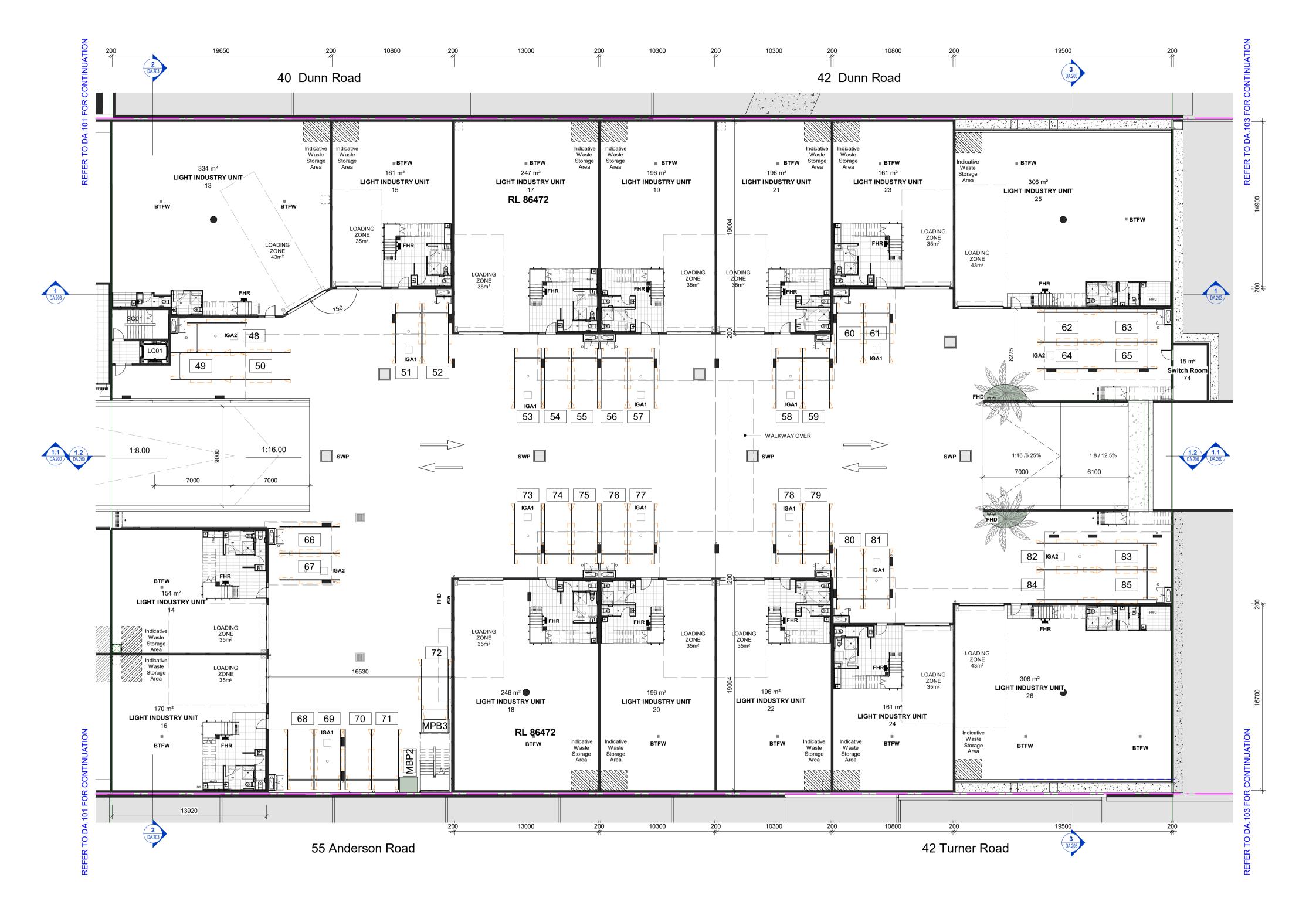
Proposed Podium 2 Anderson Rd

Scale A1 @ As indicated Date September 2022

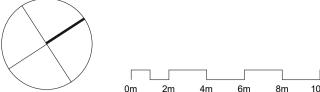
JOB No. DWG No.

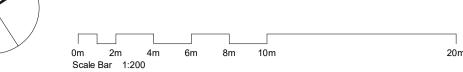
BVR422 DA.102 D

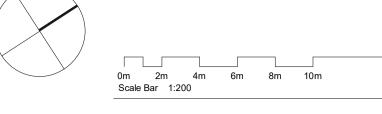


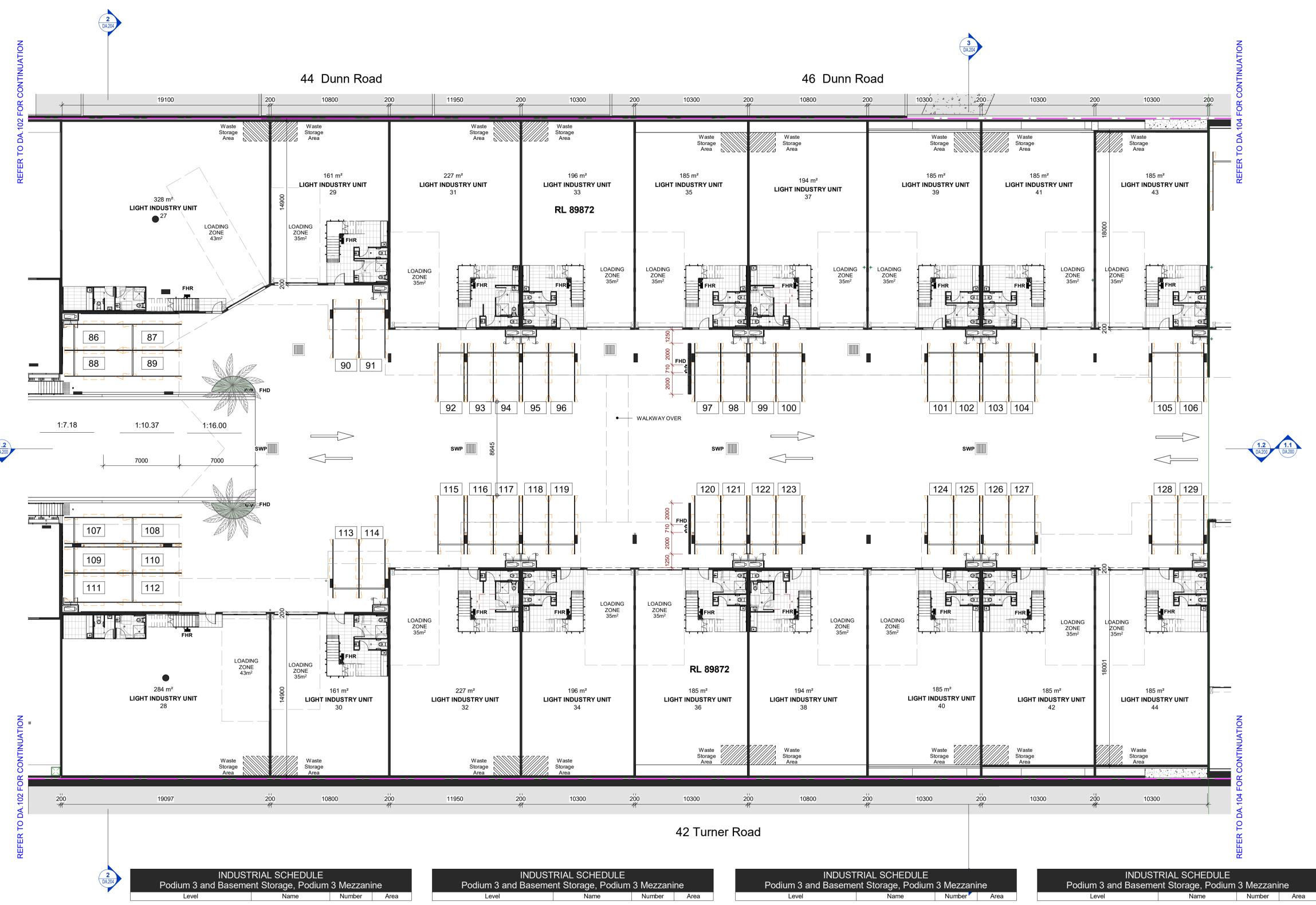












INDUS Podium 3 and Basen	STRIAL SCHEDULE nent Storage, Podiun	n 3 Mezzar	nine
Level	Name	Number	Area
Podium 3 and Basement Storage	LIGHT INDUSTRY UNIT	27	328 m²
Podium 3 and Basement Mezzanine Storage	INDUSTRIAL MEZZ	27	78 m²
			406 m²
Podium 3 and Basement Storage	LIGHT INDUSTRY UNIT	28	284 m²
Podium 3 and Basement Mezzanine Storage	INDUSTRIAL MEZZ	28	85 m²
			369 m²
Podium 3 and Basement Storage	LIGHT INDUSTRY UNIT	29	161 m²
Podium 3 and Basement Mezzanine Storage	INDUSTRIAL MEZZ	29	41 m²
			202 m²
Podium 3 and Basement Storage	LIGHT INDUSTRY UNIT	30	161 m²
Podium 3 and Basement Mezzanine Storage	INDUSTRIAL MEZZ	30	44 m²
			205 m²
Podium 3 and Basement Storage	LIGHT INDUSTRY UNIT	31	227 m²
Podium 3 and Basement Mezzanine	INDUSTRIAL MEZZ	31	41 m²

Key Plan

INDUSTRIAL SCHEDULE Podium 3 and Basement Storage, Podium 3 Mezzanine						
Level	Name	Number	Area			
			268 m²			
Podium 3 and Basement Storage	LIGHT INDUSTRY UNIT	32	227 m²			
Podium 3 and Basement Mezzanine Storage	INDUSTRIAL MEZZ	32	41 m²			
J			268 m²			
Podium 3 and Basement Storage	LIGHT INDUSTRY UNIT	33	196 m²			
Podium 3 and Basement Mezzanine Storage	INDUSTRIAL MEZZ	33	41 m²			
5		1	237 m²			
Podium 3 and Basement Storage	LIGHT INDUSTRY UNIT	34	196 m²			
Podium 3 and Basement Mezzanine Storage	INDUSTRIAL MEZZ	34	41 m²			
3	-		237 m ²			
Podium 3 and Basement Storage	LIGHT INDUSTRY UNIT	35	185 m²			
Podium 3 and Basement Mezzanine Storage	INDUSTRIAL MEZZ	35	41 m²			
	1	-	226 m ²			

Level	Name	Number	Area
Podium 3 and Basement Storage	LIGHT INDUSTRY UNIT	36	185 m²
Podium 3 and Basement Mezzanine Storage	INDUSTRIAL MEZZ	36	41 m²
			226 m²
Podium 3 and Basement Storage	LIGHT INDUSTRY UNIT	37	194 m²
Podium 3 and Basement Mezzanine	INDUSTRIAL MEZZ	37	41 m²
Storage			
Storage			235 m ²
	LIGHT INDUSTRY UNIT	38	235 m ²
Podium 3 and Basement Storage Podium 3 and Basement Mezzanine	LIGHT INDUSTRY UNIT	38	
Storage Podium 3 and Basement Storage Podium 3 and Basement Mezzanine Storage		1	194 m²
Podium 3 and Basement Storage Podium 3 and Basement Mezzanine Storage		1	194 m² 41 m²
Podium 3 and Basement Storage Podium 3 and Basement Mezzanine	INDUSTRIAL MEZZ	38	194 m² 41 m² 235 m²
Podium 3 and Basement Storage Podium 3 and Basement Mezzanine Storage Podium 3 and Basement Storage Podium 3 and Basement Mezzanine	INDUSTRIAL MEZZ LIGHT INDUSTRY UNIT	38	194 m ² 41 m ² 235 m ²

Level	Name	Number	Area
Podium 3 and Basement Mezzanine Storage	INDUSTRIAL MEZZ	40	41 m²
			226 m²
Podium 3 and Basement Storage	LIGHT INDUSTRY UNIT	41	185 m²
Podium 3 and Basement Mezzanine Storage	INDUSTRIAL MEZZ	41	41 m²
			226 m²
Podium 3 and Basement Storage	LIGHT INDUSTRY UNIT	42	185 m²
Podium 3 and Basement Mezzanine Storage	INDUSTRIAL MEZZ	42	41 m²
			226 m²
Podium 3 and Basement Storage	LIGHT INDUSTRY UNIT	43	185 m²
Podium 3 and Basement Mezzanine Storage	INDUSTRIAL MEZZ	43	43 m²
			228 m²
Podium 3 and Basement Storage	LIGHT INDUSTRY UNIT	44	185 m²
Podium 3 and Basement Mezzanine	INDUSTRIAL MEZZ	44	43 m²

	2 3 3 3 1 3 1 3 1 3 1 3 1 3 1 3 1 3 1 3
	Fire Hydrant Double - Refer To Hydraulic Engineers Details
	Fire Hose Reel (Installation To Comply To AS2441)
SWP	Stormwater Pit - Refer To Civil Engineers Drawings

15.09.2022

11.07.2022 18.05.2022

Date

D Issue for CouncilC Issue for Council Review B DA Amended Plans A Issue for Development Application

Toth & Partners Pty Ltd

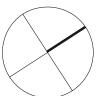
6/80 Kurraba Road Neutral Bay NSW 2089 BDAA Reg No. 6657

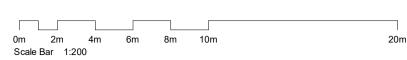
Turner Road

36 Turner Road, Smeaton Grange, NSW 2567

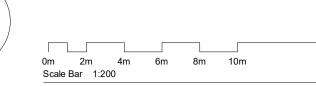
Proposed Podium 3 Anderson Rd

Scale	A1 @	As indicated	Date	September 2022
JOB No.			DWG No.	
B	VR4	122		DA.103 D





STORAGE SCHEDULE



	n 3 Basement S		
Level	Name	Number	Area
Dadium 2 and Pasament Store	age LC02	0.69	5 m²
Podium 3 and Basement Store	0		
Podium 3 and Basement Stora	age Storage/Secu ty Room	ri 1B	43 m²
Podium 3 and Basement Stora	ige S.U	66	20 m²
Podium 3 and Basement Stora	ige S.U	67	30 m²
Podium 3 and Basement Stora	ige S.U	68	30 m²
Podium 3 and Basement Stora	ige S.U	69	39 m²
Podium 3 and Basement Stora	ige S.U	70	30 m²
Podium 3 and Basement Stora	ige S.U	71	36 m²
Podium 3 and Basement Stora	age S.U	72	30 m²
Podium 3 and Basement Stora	age S.U	73	36 m²
Podium 3 and Basement Stora	age S.U	74	30 m²
Podium 3 and Basement Stora	age S.U	75	36 m²
Podium 3 and Basement Stora	age S.U	76	30 m²
Podium 3 and Basement Stora	age S.U	77	37 m²
Podium 3 and Basement Stora		78	30 m²
Podium 3 and Basement Stora	age S.U	79	36 m²
Podium 3 and Basement Stora		80	30 m²
Podium 3 and Basement Stora	age S.U	81	36 m²
Podium 3 and Basement Stora	age S.U	82	30 m²
Podium 3 and Basement Stora	age S.U	83	36 m²
Podium 3 and Basement Stora	age S.U	84	30 m²
Podium 3 and Basement Stora	age S.U	85	33 m²
Podium 3 and Basement Stora	age S.U	86	30 m²
Podium 3 and Basement Stora	ige S.U	87	30 m²
Podium 3 and Basement Stora	age S.U	88	30 m²
Podium 3 and Basement Stora	ige S.U	89	25 m²
Podium 3 and Basement Stora	ige S.U	90	32 m²
Podium 3 and Basement Stora	ige S.U	91	21 m²
Podium 3 and Basement Stora	age S.U	92	33 m²
Podium 3 and Basement Stora	age S.U	93	21 m²
Podium 3 and Basement Stora	age S.U	94	33 m²
Podium 3 and Basement Stora	age S.U	95	37 m²
Podium 3 and Basement Stora	age S.U	96	27 m²
Podium 3 and Basement Stora	age S.U	97	30 m²

Podium 3	Basement Sto		
Level	Name	Number	Area
Podium 3 and Basement Storage	S.U	98	27 m²
Podium 3 and Basement Storage	S.U	99	30 m²
Podium 3 and Basement Storage	S.U	100	33 m²
Podium 3 and Basement Storage	S.U	101	37 m²
Podium 3 and Basement Storage	S.U	102	33 m²
Podium 3 and Basement Storage	S.U	103	21 m²
Podium 3 and Basement Storage	S.U	104	32 m²
Podium 3 and Basement Storage	S.U	105	21 m²
Podium 3 and Basement Storage	S.U	106	27 m²
Podium 3 and Basement Storage	S.U	107	30 m²
Podium 3 and Basement Storage	S.U	108	30 m²
Podium 3 and Basement Storage	S.U	109	30 m²
Podium 3 and Basement Storage	S.U	110	30 m²
Podium 3 and Basement Storage	S.U	111	33 m²
Podium 3 and Basement Storage	S.U	112	30 m²
Podium 3 and Basement Storage	S.U	113	36 m²
Podium 3 and Basement Storage	S.U	114	30 m²
Podium 3 and Basement Storage	S.U	115	36 m²
Podium 3 and Basement Storage	S.U	116	30 m²
Podium 3 and Basement Storage	S.U	117	36 m²
Podium 3 and Basement Storage	S.U	118	30 m²
Podium 3 and Basement Storage	S.U	119	36 m²
Podium 3 and Basement Storage	S.U	120	30 m²
Podium 3 and Basement Storage	S.U	121	36 m²
Podium 3 and Basement Storage	S.U	122	30 m²
Podium 3 and Basement Storage	S.U	123	36 m²
Podium 3 and Basement Storage	S.U	124	30 m²
Podium 3 and Basement Storage	S.U	125	36 m²
Podium 3 and Basement Storage	S.U	126	30 m²
Podium 3 and Basement Storage	S.U	127	44 m²
Podium 3 and Basement Storage	S.U	128	30 m²
Podium 3 and Basement Storage	S.U	129	45 m²
	•		2074 m²

S.U = STORAGE PREMISES

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All Dimensions to Be Verified On Site (VOS) Prior To Construction /

Rev	Description	Date
Α	Issue for Development Application	18.05.20
В	DA Amended Plans	11.07.202
С	Issue for Council	27.09.202

Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089 BDAA Reg No. 6657

Turner Road

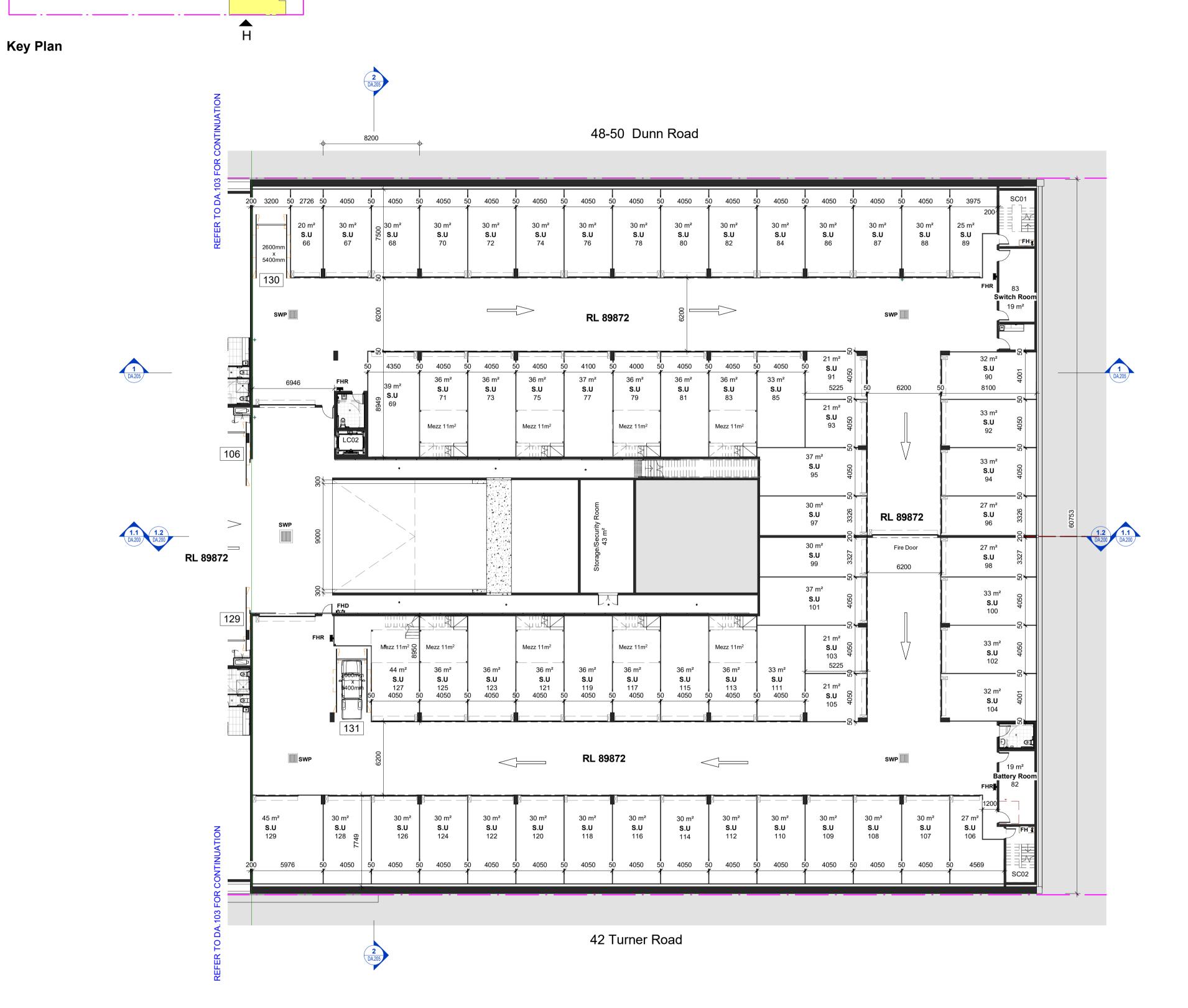
36 Turner Road, Smeaton Grange, NSW 2567

Proposed Podium 3 Basement Storage

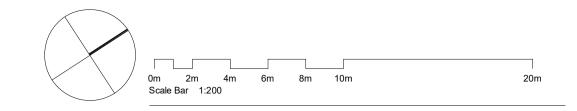
ale	A1 @	As indicated	Date	September 2022
B No.			DWG No.	

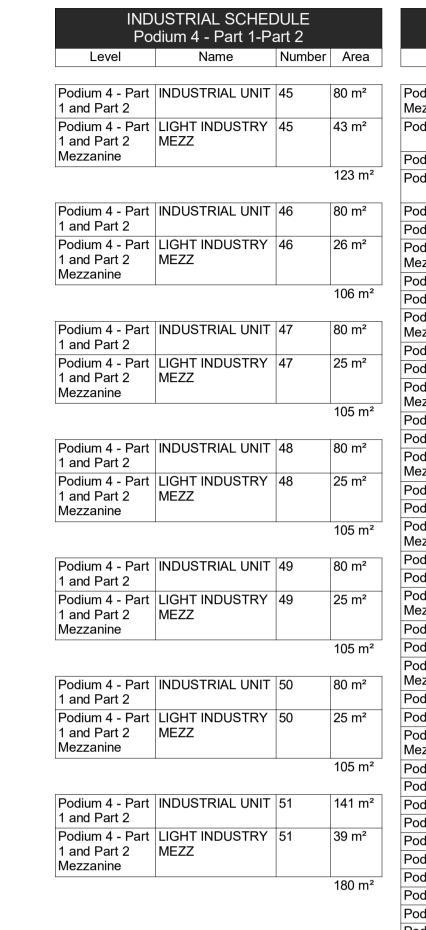
BVR422

DA.104 C



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STORAGE SCHEDULE Podium 4 - Part 1 - Part 2			
Level	Name	Number	Are
Podium 4 - Part 1 and Part 2 Mezzanine	STORAGE MEZZ	1G	11 m
Podium 4 - Part 1 and Part 2	Switch Room 03	81	19 m
Podium 4 - Part 1 and Part 2	MSB	86	28 m
Podium 4 - Part 1 and Part 2	Switch Room 04	87	18 m
Podium 4 - Part 1 and Part 2	S.U	130	36 m
Podium 4 - Part 1 and Part 2	S.U	131	39 m
Podium 4 - Part 1 and Part 2 Mezzanine	STORAGE MEZZ	131	11 m
Podium 4 - Part 1 and Part 2	S.U	132	36 m
Podium 4 - Part 1 and Part 2	S.U	133	29 m
Podium 4 - Part 1 and Part 2 Mezzanine	STORAGE MEZZ	133	11 m
Podium 4 - Part 1 and Part 2	S.U	134	36 m
Podium 4 - Part 1 and Part 2	S.U	135	29 m
Podium 4 - Part 1 and Part 2 Mezzanine	STORAGE MEZZ	135	11 m
Podium 4 - Part 1 and Part 2	S.U	136	36 m
Podium 4 - Part 1 and Part 2 Podium 4 - Part 1 and Part 2	S.U	137	29 m
Podium 4 - Part 1 and Part 2 Podium 4 - Part 1 and Part 2 Mezzanine	STORAGE MEZZ	137	11 m
Podium 4 - Part 1 and Part 2	S.U	138	36 m
Podium 4 - Part 1 and Part 2	S.U	139	44 m
Podium 4 - Part 1 and Part 2 Mezzanine	STORAGE MEZZ	139	11 m
Podium 4 - Part 1 and Part 2	S.U	140	36 m
Podium 4 - Part 1 and Part 2	S.U	141	44 m
Podium 4 - Part 1 and Part 2 Mezzanine	STORAGE MEZZ	141	11 m
Podium 4 - Part 1 and Part 2	S.U	142	36 m
Podium 4 - Part 1 and Part 2	S.U	143	29 m
Podium 4 - Part 1 and Part 2 Mezzanine	STORAGE MEZZ	143	11 m
Podium 4 - Part 1 and Part 2	S.U	144	36 m
Podium 4 - Part 1 and Part 2	S.U	145	29 m
Podium 4 - Part 1 and Part 2 Mezzanine	STORAGE MEZZ	145	11 m
Podium 4 - Part 1 and Part 2	S.U	146	36 m
Podium 4 - Part 1 and Part 2	S.U	147	29 m
Podium 4 - Part 1 and Part 2	S.U	148	36 m
Podium 4 - Part 1 and Part 2	S.U	149	31 m
Podium 4 - Part 1 and Part 2	S.U	150	36 m
Podium 4 - Part 1 and Part 2	S.U	151	29 m
Podium 4 - Part 1 and Part 2	S.U	152	36 m
Podium 4 - Part 1 and Part 2	S.U	153	29 m
Podium 4 - Part 1 and Part 2	S.U	154	36 m
Podium 4 - Part 1 and Part 2	S.U	155	29 m
Podium 4 - Part 1 and Part 2	S.U	156	36 m
Podium 4 - Part 1 and Part 2	S.U	157	29 m
Podium 4 - Part 1 and Part 2	S.U	158	36 m
Podium 4 - Part 1 and Part 2	S.U	159	29 m
Podium 4 - Part 1 and Part 2	S.U	160	29 m
Podium 4 - Part 1 and Part 2	S.U	161	29 m

S.U = STORAGE PREMISES

27.09.2022

15.09.2022

11.07.2022

18.05.2022 Date

Α	Issue for Development Application		
Rev	Description		

Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089 BDAA Reg No. 6657

Turner Road

D Issue for Council

B DA Amended Plans

Issue for Council Review

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Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - **242-20SP**. All Levels Indicated Taken To Australian Height Datum (AHD)

Levels Prefixed With *RL. Are Interpreted From Existing Survey Information, Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

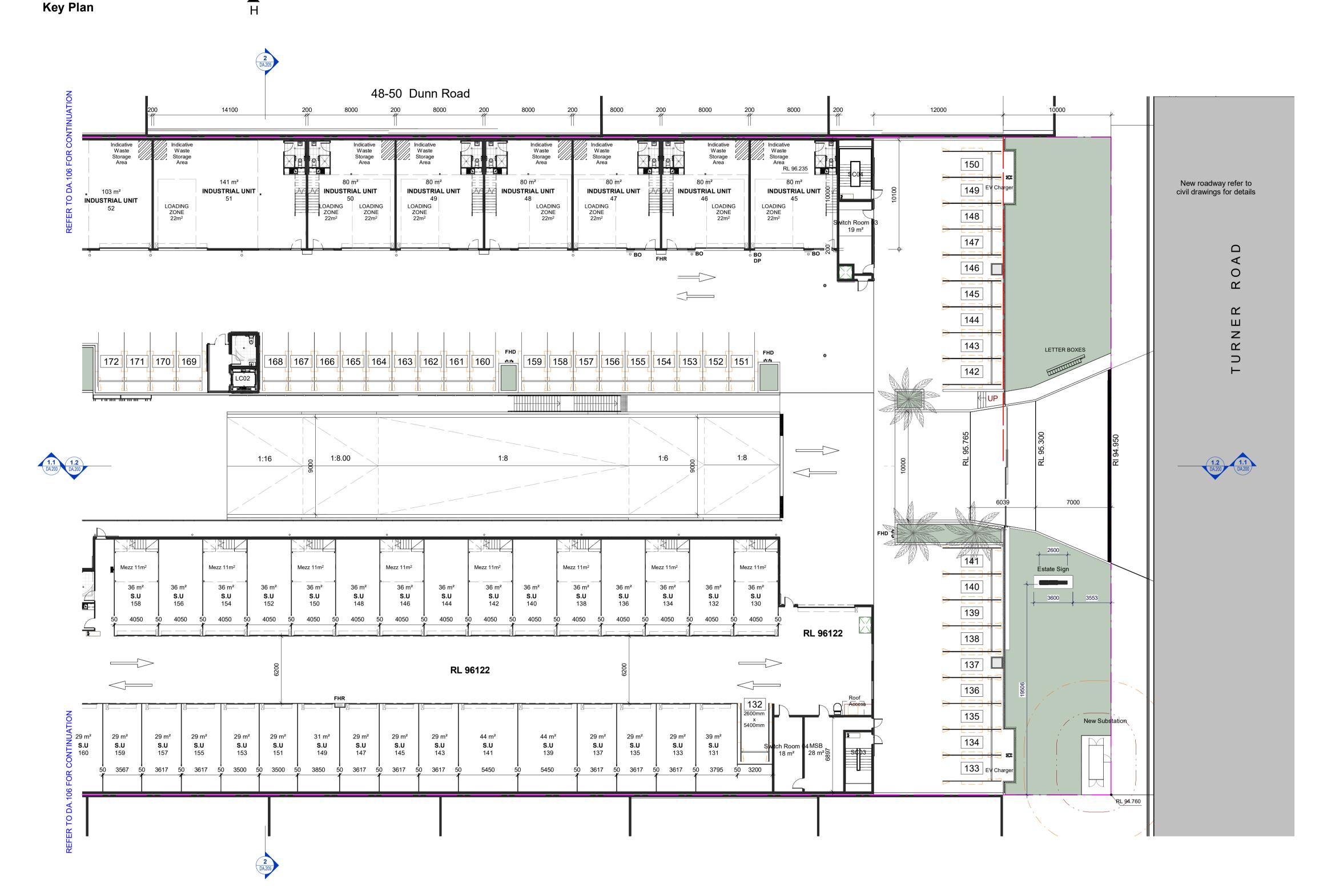
All Dimensions to Be Verified On Site (VOS) Prior To Construction /

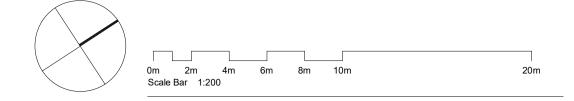
Proposed Podium 4 – Part 1 Turner Rd

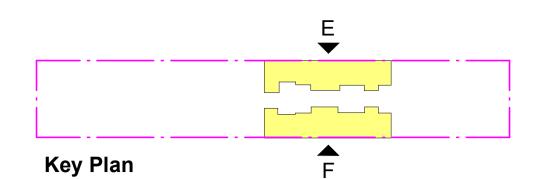
Scale	A1 @	As indicated	Date	September 2022
JOB No.			DWG No.	

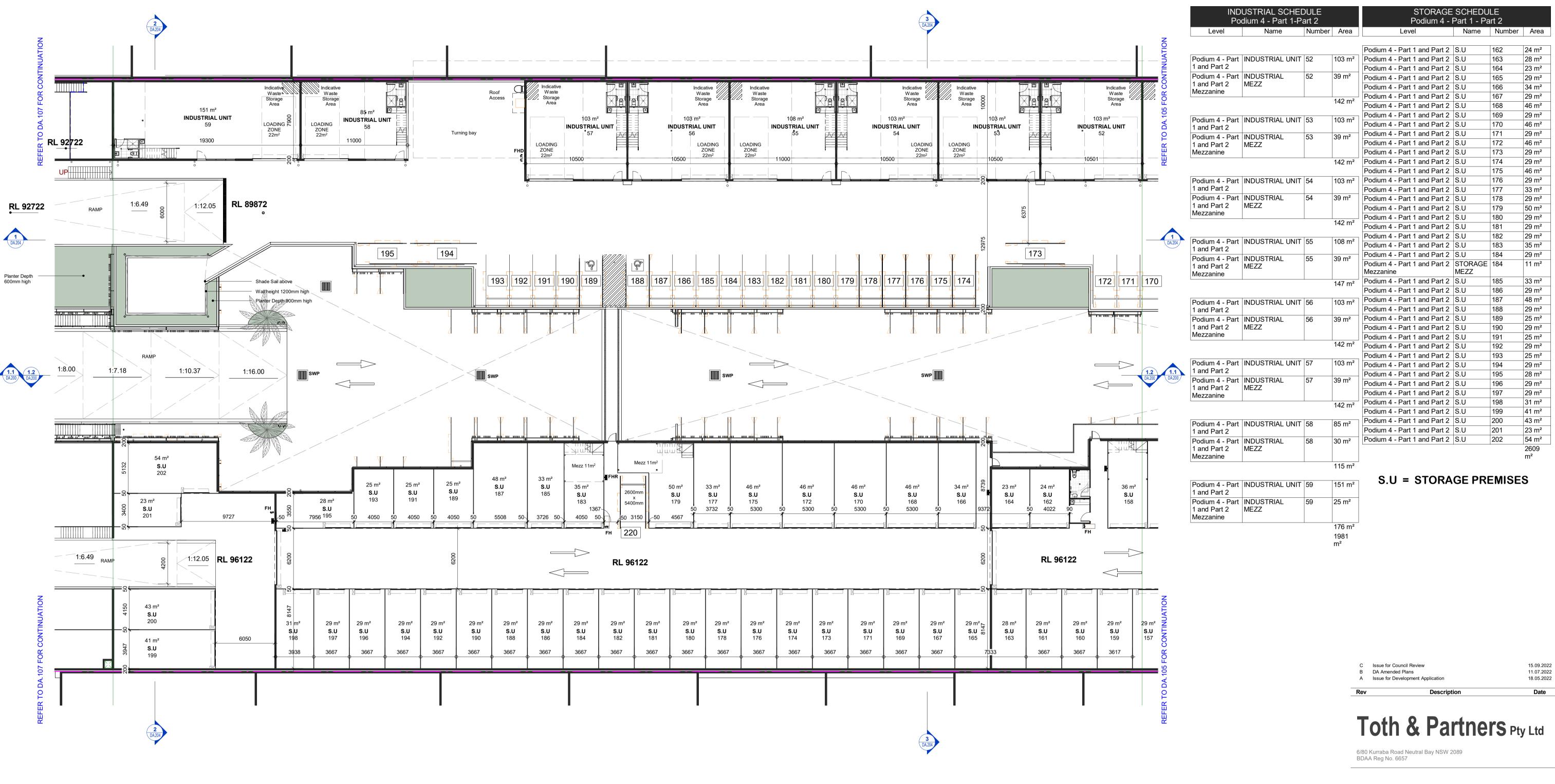
BVR422











Turner Road

36 Turner Road, Smeaton Grange, NSW 2567

General Notes:

Datum (AHD)

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height

Levels Prefixed With *RL. Are Interpreted From Existing Survey Information, Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions to Be Verified On Site (VOS) Prior To Construction /

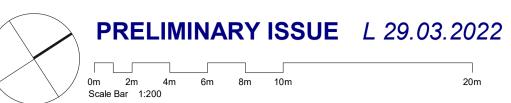
Proposed Podium 4 – Part 2 Turner Rd

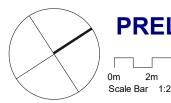
Scale A1 @ indicated September 2022 JOB No. DWG No.

BVR422

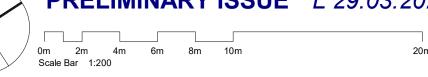
DA.106 C

Date





813 m²



Level	Name	Number	Area
Level	INAITIC	Number	Alca
Podium 4 - Part 3	INDUSTRIAL UNIT	60	153 m²
Podium 4 - Part 3 Mezzanine	LIGHT INDUSTRY MEZZ	60	33 m²
	,		186 m²
Podium 4 - Part 3	INDUSTRIAL UNIT	61	85 m²
Podium 4 - Part 3 Mezzanine	LIGHT INDUSTRY MEZZ	61	31 m ²
			116 m²
Podium 4 - Part 3	INDUSTRIAL UNIT	62	81 m²
Podium 4 - Part 3 Mezzanine	LIGHT INDUSTRY MEZZ	62	30 m²
			111 m²
Podium 4 - Part 3	INDUSTRIAL UNIT	63	90 m²
Podium 4 - Part 3 Mezzanine	LIGHT INDUSTRY MEZZ	63	34 m²
			124 m²
Podium 4 - Part 3	INDUSTRIAL UNIT	64	113 m²
Podium 4 - Part 3 Mezzanine	LIGHT INDUSTRY MEZZ	64	34 m²
			148 m²
Podium 4 - Part 3	INDUSTRIAL UNIT	65	94 m²
Podium 4 - Part 3 Mezzanine	LIGHT INDUSTRY MEZZ	65	34 m²

85 m²
INDUSTRIAL UNIT

RL 92722

INDUSTRIAL UNIT

198 | 197 | 196

32 m² **S.U** 209

3617

32 m² **S.U** 211

RL 92722

3617

29 m² **S.U** 212

3617 50

3617

29 m² **S.U** 210

S.U 208

35 m² **S.U** 213

3617

29 m² **S.U** 214

35 m² **S.U** 215

3617

29 m² **S.U** 216

S.U

5425

41 m² **S.U** 206

219

INDUSTRIAL UNIT

1:8.00

110 m² **S.U** 205

1:6.49

S.U

1:12.05

113 m² | INDUSTRIAL UNIT

LOADING ZONE 22m² 63

205 204 203 202 201 200 199

32 m² CZ **S.U** 8 218

29 m² _ 217 8.U 24 217

32 m² **S.U** 220

27 m² **S.U** 219

23 m² **S.U** 222

29 m² **S.U** 221

S.U

25 m² **S.U** 223

LOADING ZONE 22m²

206

LOADING INDUSTRIAL UNIT 65

208

207

217

209

1:16.00

216

Key Plan

215

214

212

211

2.00°

RL 92722

210

STORAGE SCHEDULE Podium 4 - Part 3					
Level	Name	Number	Area		
		•			
Podium 4 - Part 3	SC05	1M	7 m²		
Podium 4 - Part 3	ES4	1N	10 m²		
Podium 4 - Part 3 Mezzanine	STORAGE MEZZ	169	11 m²		
Podium 4 - Part 3 Mezzanine	STORAGE MEZZ	170	11 m²		
Podium 4 - Part 3	S.U	203	59 m²		
Podium 4 - Part 3	S.U	204	63 m²		
Podium 4 - Part 3	S.U	205	110 m²		
Podium 4 - Part 3	S.U	206	41 m²		
Podium 4 - Part 3	S.U	207	40 m²		
Podium 4 - Part 3	S.U	208	27 m²		
Podium 4 - Part 3	S.U	209	32 m²		
Podium 4 - Part 3	S.U	210	29 m²		
Podium 4 - Part 3	S.U	211	32 m²		
Podium 4 - Part 3	S.U	212	29 m²		
Podium 4 - Part 3	S.U	213	35 m²		
Podium 4 - Part 3	S.U	214	29 m²		
Podium 4 - Part 3	S.U	215	35 m²		
Podium 4 - Part 3	S.U	216	29 m²		
Podium 4 - Part 3	S.U	217	29 m²		
Podium 4 - Part 3	S.U	218	32 m²		
Podium 4 - Part 3	S.U	219	27 m²		
Podium 4 - Part 3	S.U	220	32 m²		
Podium 4 - Part 3	S.U	221	29 m²		
Podium 4 - Part 3	S.U	222	23 m²		
Podium 4 - Part 3	S.U	223	25 m²		
Podium 4 - Part 3	S.U	224	30 m²		

S.U = STORAGE PREMISES

D	Issue for Council
С	Issue for Council Review
В	DA Amended Plans
Α	Issue for Development Application

Toth & Partners Pty Ltd

Description

27.09.2022 15.09.2022 11.07.2022 18.05.2022

Date

6/80 Kurraba Road Neutral Bay NSW 2089 BDAA Reg No. 6657

Turner Road

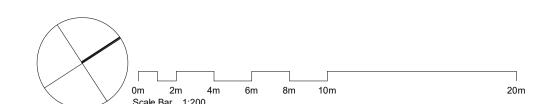
36 Turner Road, Smeaton Grange, NSW 2567

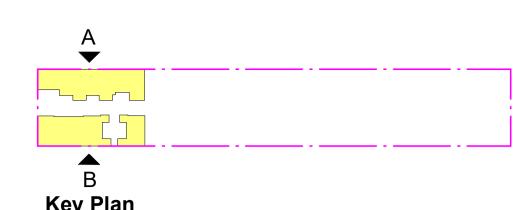
Proposed Podium 4 – Part 3 Turner Rd

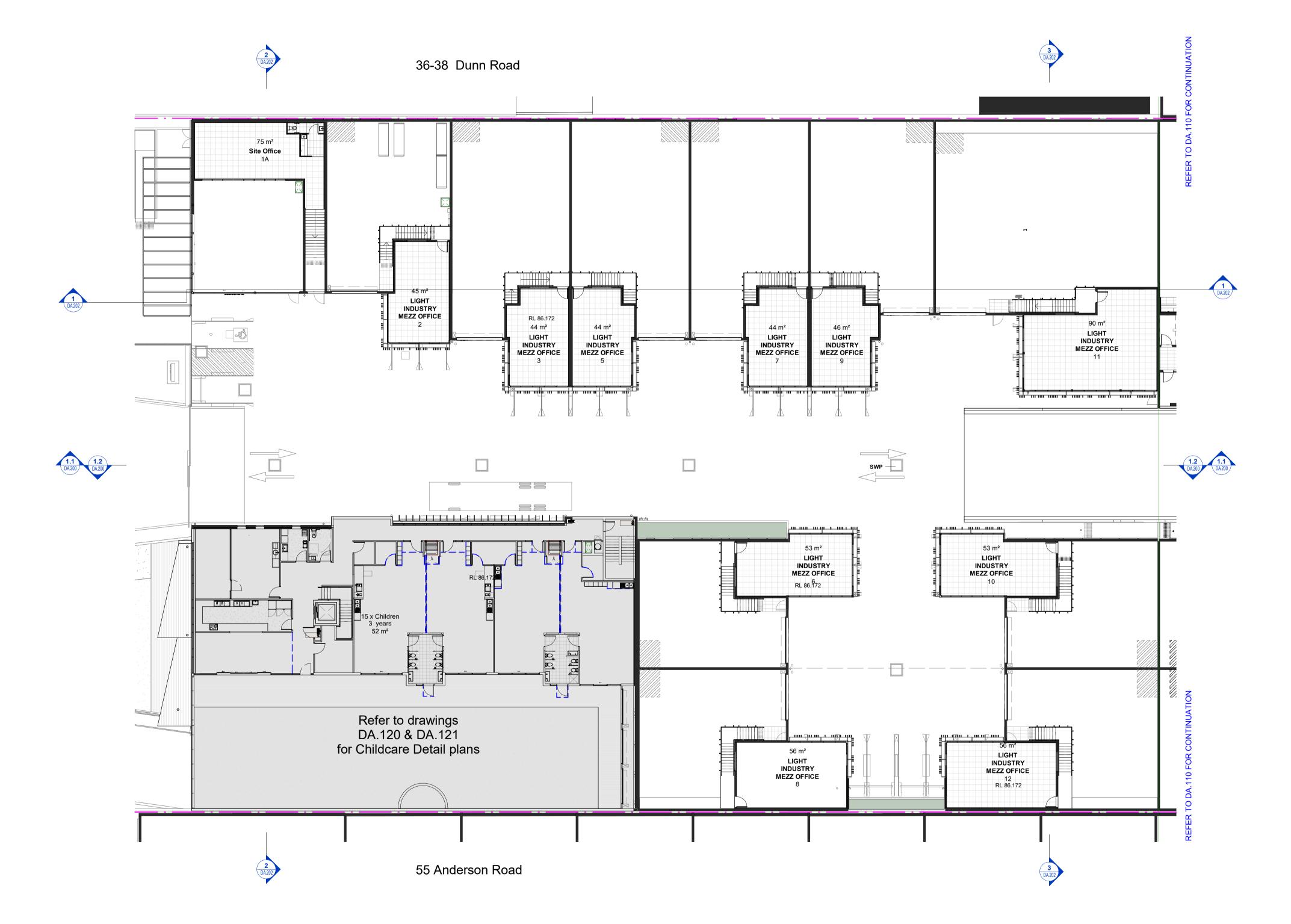
Scale	A1 @	As indicated	Date	September 2022
JOB No.			DWG No.	
В	VR4	122		DA.107 D

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.	
Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP . All Levels Indicated Taken To Australian Height Datum (AHD)	
Levels Prefixed With *RL. Are Interpreted From Existing Survey Information, Final Levels To Be Determined On Detail Review Of Existing Footpath Levels	
All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.	

General Notes:







C Issue for Council
B DA Amended Plans A Issue for Development Application

27.09.2022 11.07.2022 18.05.2022

Date

Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089 BDAA Reg No. 6657

Turner Road

General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - **242-20SP**. All Levels Indicated Taken To Australian Height Datum (AHD)

Levels Prefixed With *RL. Are Interpreted From Existing Survey Information, Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.

36 Turner Road, Smeaton Grange, NSW 2567

Proposed Mezzanine Podium 1 Anderson

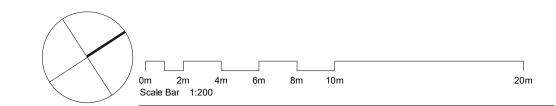
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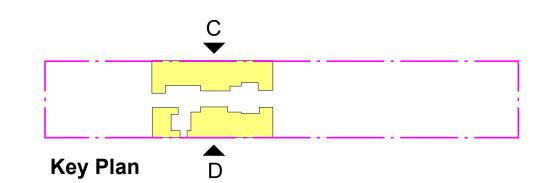
DWG No.

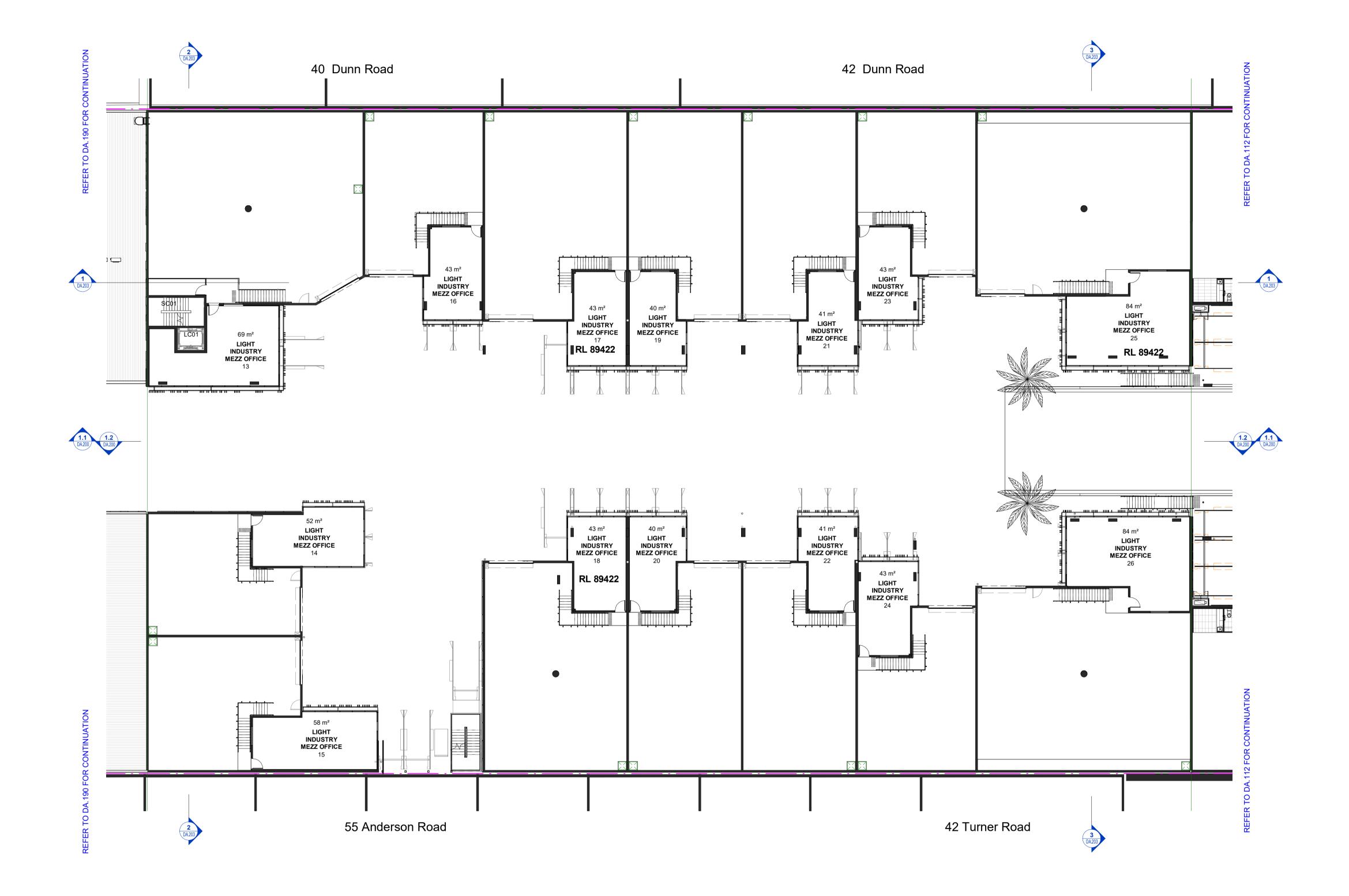
DA.110 C

September 2022

BVR422







General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - **242-20SP**. All Levels Indicated Taken To Australian Height Datum (AHD)

Levels Prefixed With *RL. Are Interpreted From Existing Survey Information, Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.

D	Issue for Council
С	Issue for Council Review
В	DA Amended Plans
Α	Issue for Development Application

Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089 BDAA Reg No. 6657

Turner Road

36 Turner Road, Smeaton Grange, NSW 2567

Proposed Mezzanine Podium 2 Anderson

Scale A1 @ As indicated September 2022 JOB No. DWG No.

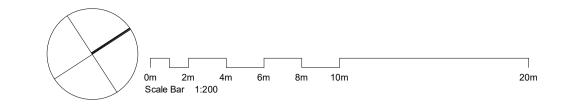
BVR422

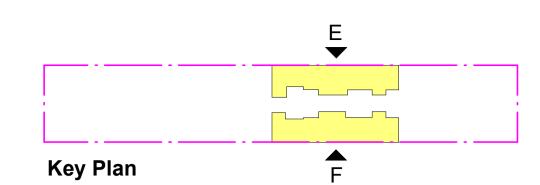
DA.111 D

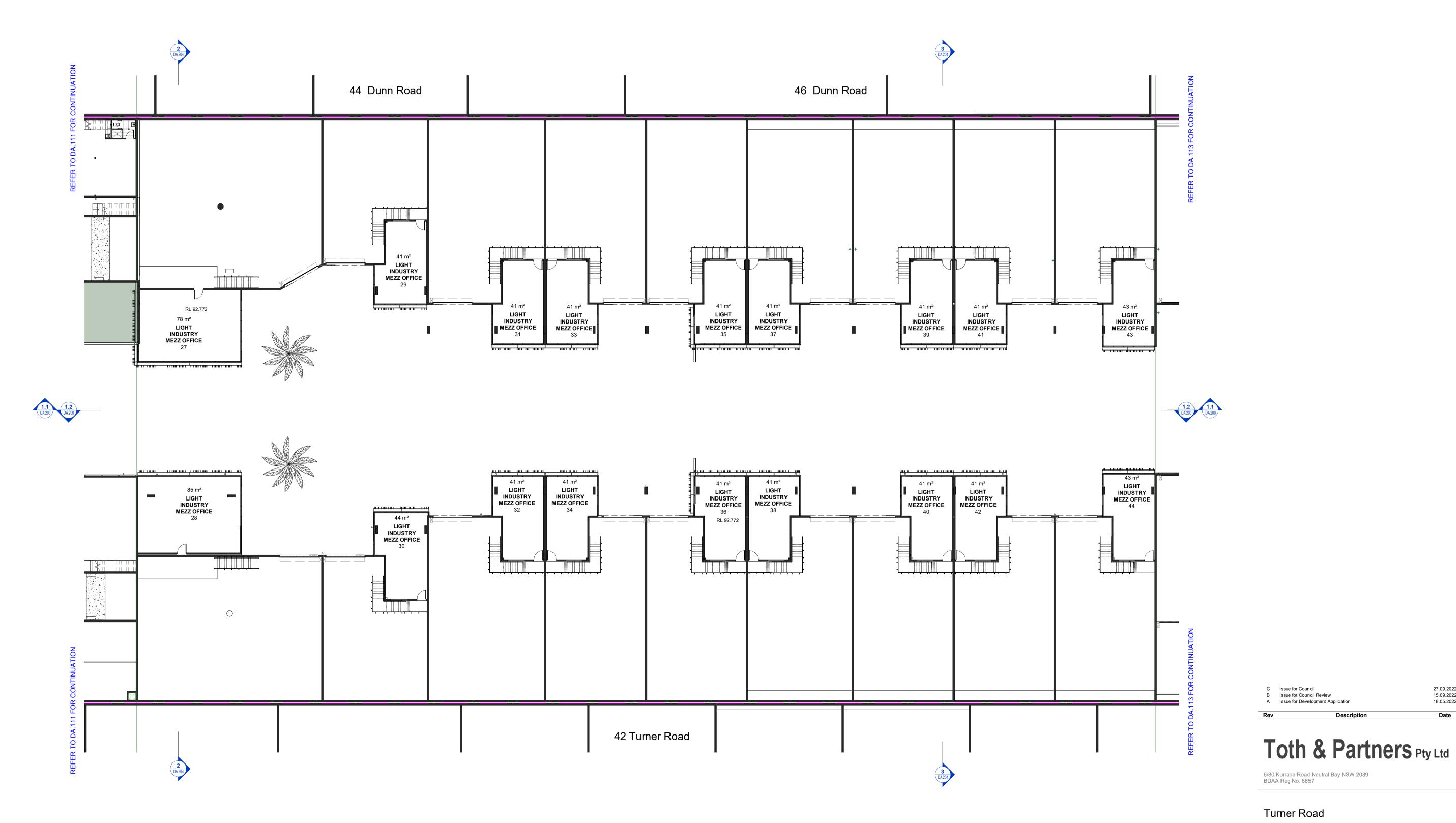
27.09.2022 15.09.2022 11.07.2022

18.05.2022

Date







36 Turner Road, Smeaton Grange, NSW 2567

Proposed Mezzanine Podium 3 Anderson

Scale A1 @ As indicated September 2022 JOB No. DWG No.

BVR422

DA.112 C

27.09.2022 15.09.2022 18.05.2022

Date

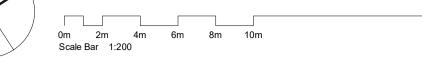
General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

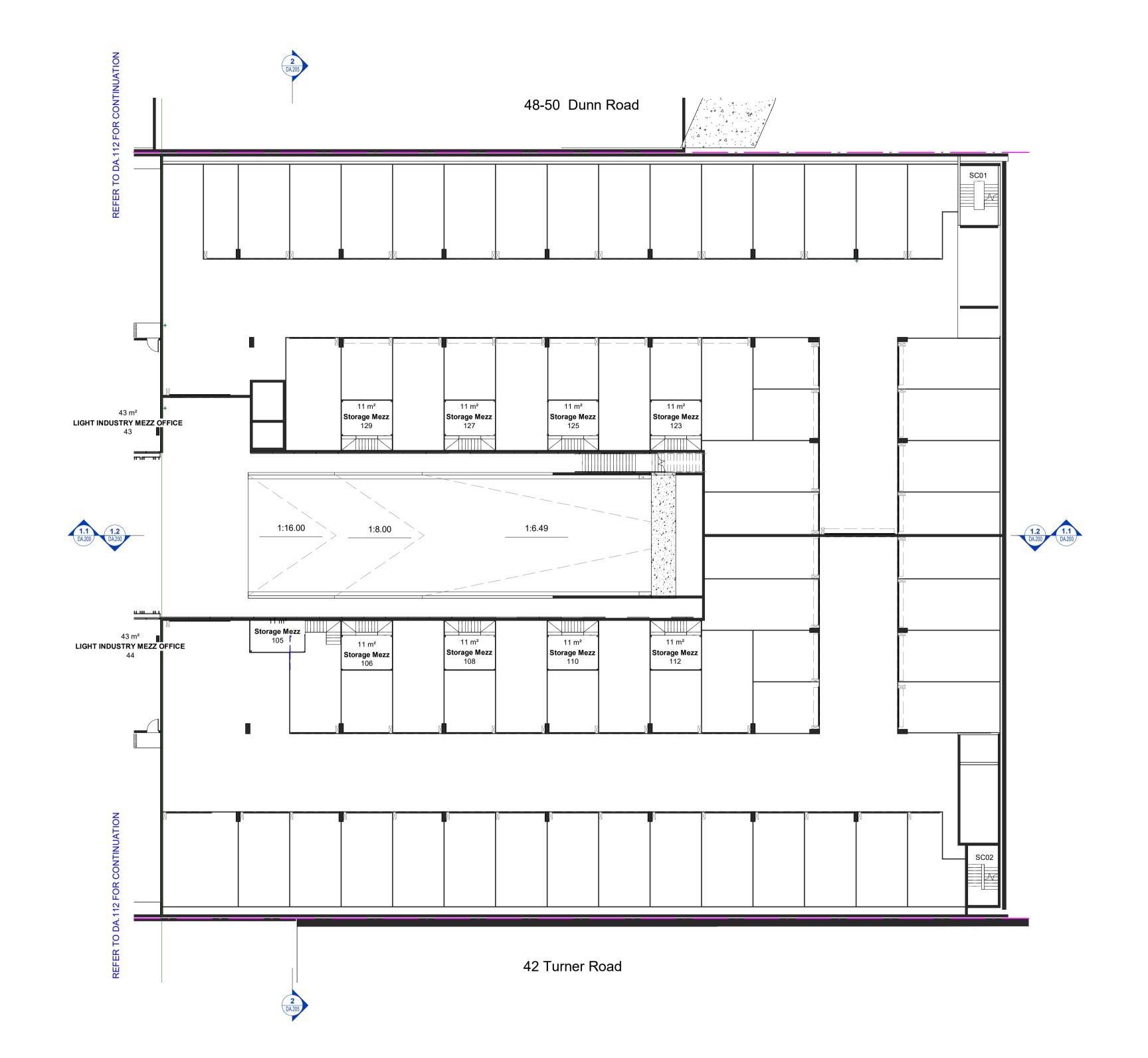
Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - **242-20SP**. All Levels Indicated Taken To Australian Height Datum (AHD) Levels Prefixed With *RL. Are Interpreted From Existing Survey Information, Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.









B DA Amended Plans A Issue for Development Application

Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089 BDAA Reg No. 6657

Turner Road

JOB No.

36 Turner Road,Smeaton Grange, NSW 2567

Proposed Mezzanine Podium 3 Basement . Storage

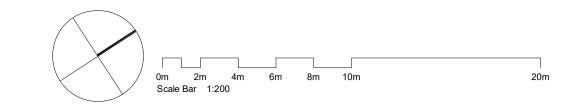
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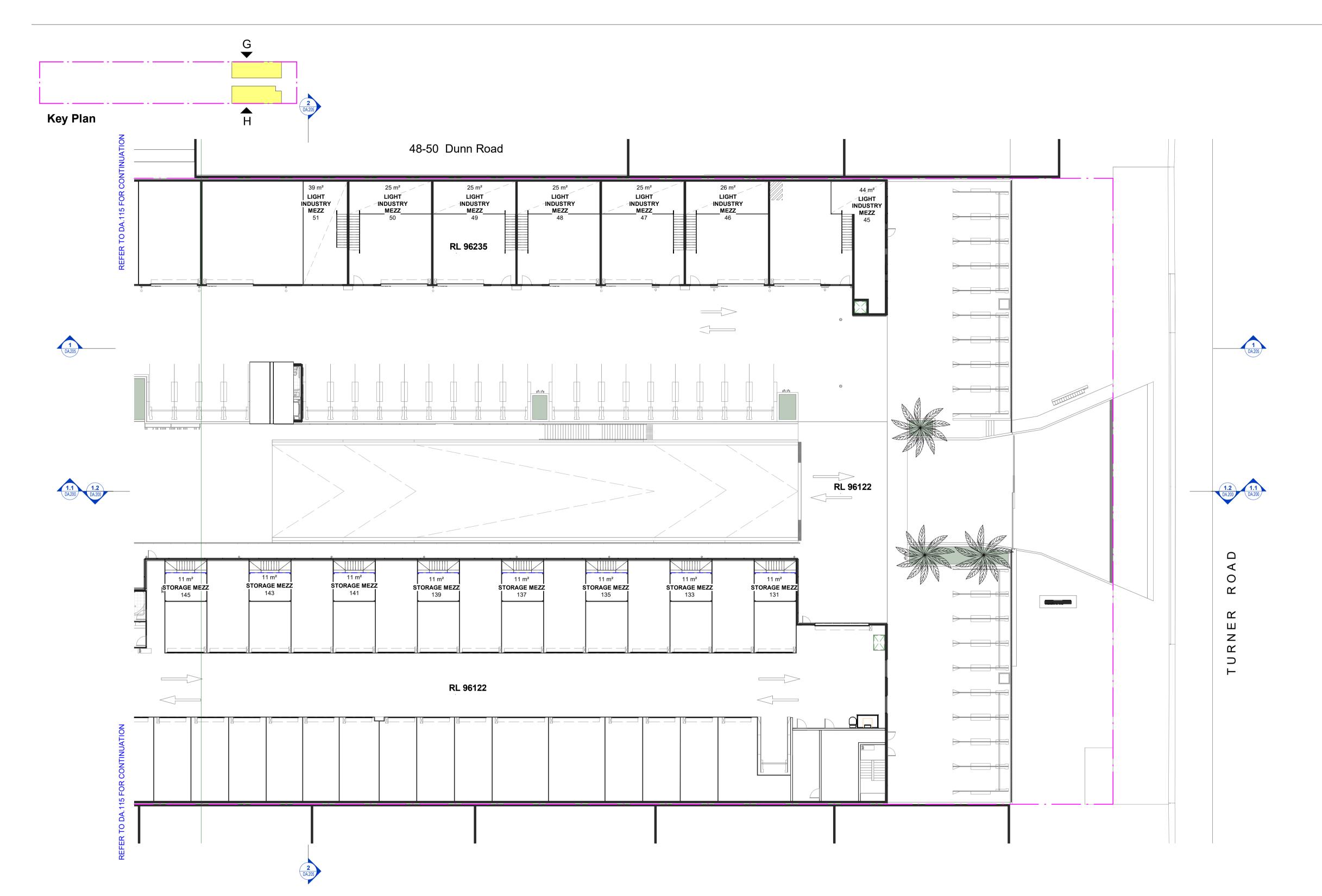
DWG No.

DA.113 B

11.07.2022 18.05.2022

BVR422





D Issue for CouncilC Issue for Council Review B DA Amended Plans A Issue for Development Application

Date

27.09.2022 15.09.2022 11.07.2022 18.05.2022

Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089 BDAA Reg No. 6657

Turner Road

36 Turner Road, Smeaton Grange, NSW 2567

Proposed Mezzanine Podium 4 – Part 1 Turner Rd

JOB No.

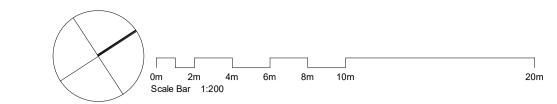
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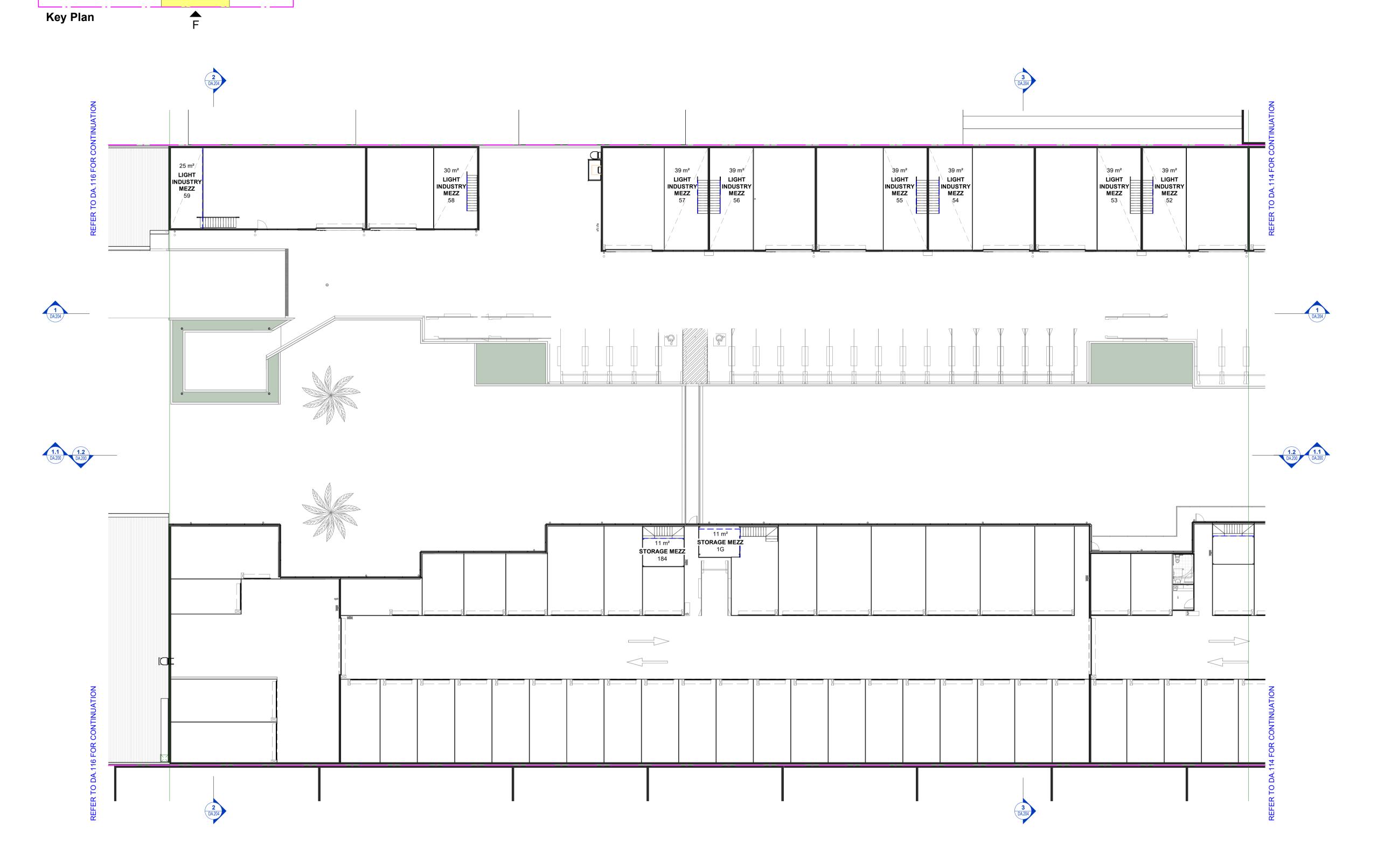
DWG No. DA.114 D

September 2022

BVR422







B DA Amended Plans A Issue for Development Application

D Issue for CouncilC Issue for Council Review

18.05.2022 Date

27.09.2022 15.09.2022

11.07.2022

Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089 BDAA Reg No. 6657

Turner Road

36 Turner Road, Smeaton Grange, NSW 2567

Proposed Mezzanine Podium 4 – Part 2 Turner Rd

Scale A1 @ As indicated September 2022 Date JOB No. DWG No.

BVR422

DA.115 D

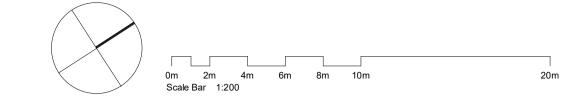
General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - **242-20SP**. All Levels Indicated Taken To Australian Height Datum (AHD)

Levels Prefixed With *RL. Are Interpreted From Existing Survey Information, Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.





D Issue for CouncilC Issue for Council Review B DA Amended Plans A Issue for Development Application

Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089 BDAA Reg No. 6657

Turner Road

36 Turner Road, Smeaton Grange, NSW 2567

Proposed Mezzanine Podium 4 – Part 3 Turner Rd

Scale A1 @ As indicated

September 2022 DWG No. DA.116 D

27.09.2022 15.09.2022

11.07.2022

18.05.2022

Date

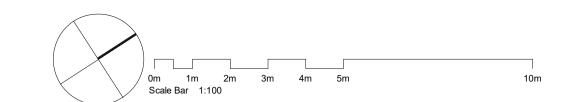
All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture. JOB No. BVR422

General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

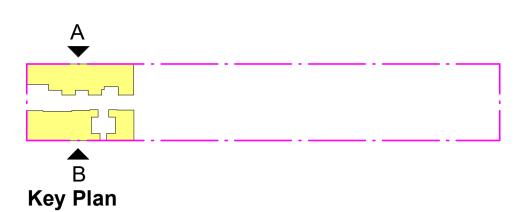
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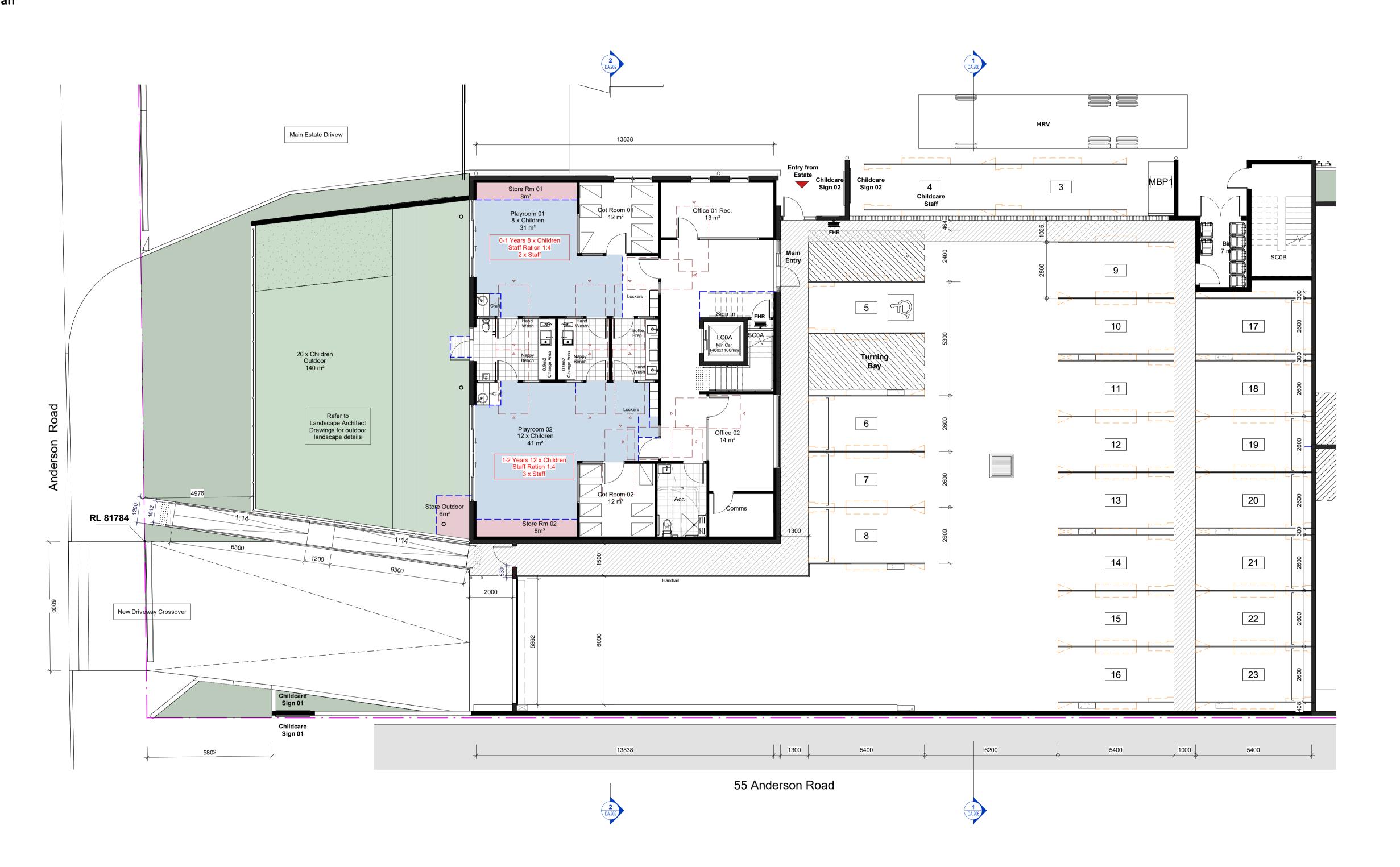
Levels Prefixed With *RL. Are Interpreted From Existing Survey Information, Final Levels To Be Determined On Detail Review Of Existing Footpath Levels



Code Description

FHR Fire Hose Reel (Installation To Comply To AS244)





Rev Description

Toth & Partners Pty Ltd

27.09.2022 15.09.2022

11.07.2022 18.05.2022

Date

6/80 Kurraba Road Neutral Bay NSW 2089 BDAA Reg No. 6657

D Issue for CouncilC Issue for Council Review

A Issue for Development Application

B DA Amended Plans

Turner Road

Project

36 Turner Road, Smeaton Grange, NSW 2567

Title

Proposed Childcare Ground Floor Plan

Scale A1 @ As indicated Date September 2022 DWG No. $BVR422 \hspace{1cm} DA.120 \hspace{1cm} D$

All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.

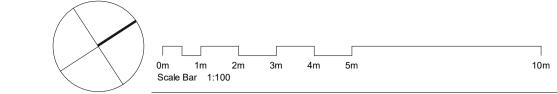
Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - **242-20SP.** All Levels Indicated Taken To Australian Height Datum (AHD)

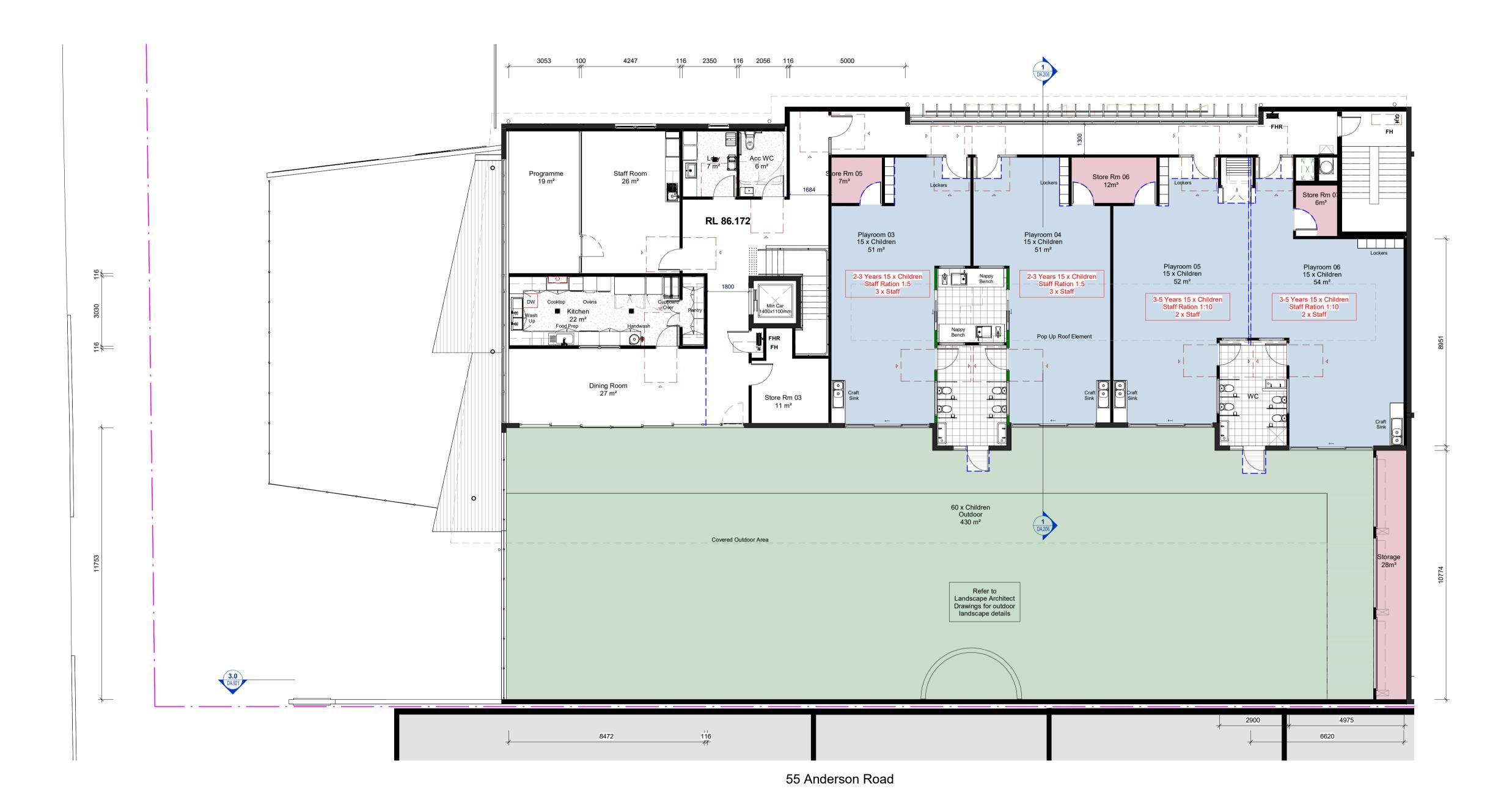
Levels Prefixed With *RL. Are Interpreted From Existing Survey Information, Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

General Notes:





CodeDescriptionFHFire Hydrant - Refer To Hydraulic Engineers DetailsFHRFire Hose Reel (Installation To Comply To AS2441)



Key Plan



Turner Road

Project

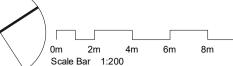
36 Turner Road,Smeaton Grange, NSW 2567

Title

Proposed Childcare First Floor Plan

Scale	A1 @	As indicated	Date	September 2022
JOB No.			DWG No.	
В	VR4	122		DA.121 C









0m 2m 4m 6m 8m 10m Scale Bar 1:200



C Issue for Council Review
B DA Amended Plans A Issue for Development Application

Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089 BDAA Reg No. 6657

Turner Road

36 Turner Road, Smeaton Grange, NSW 2567

General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - **242-20SP**. All Levels Indicated Taken To Australian Height Datum (AHD)

Levels Prefixed With *RL. Are Interpreted From Existing Survey Information, Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.

Proposed Roof Podium 1 Anderson Rd

Scale A1 @ As indicated September 2022 JOB No. DWG No.

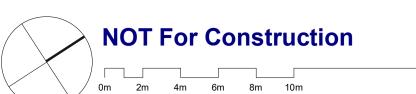
BVR422

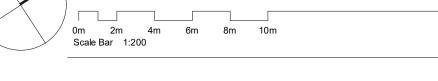
DA.190 C

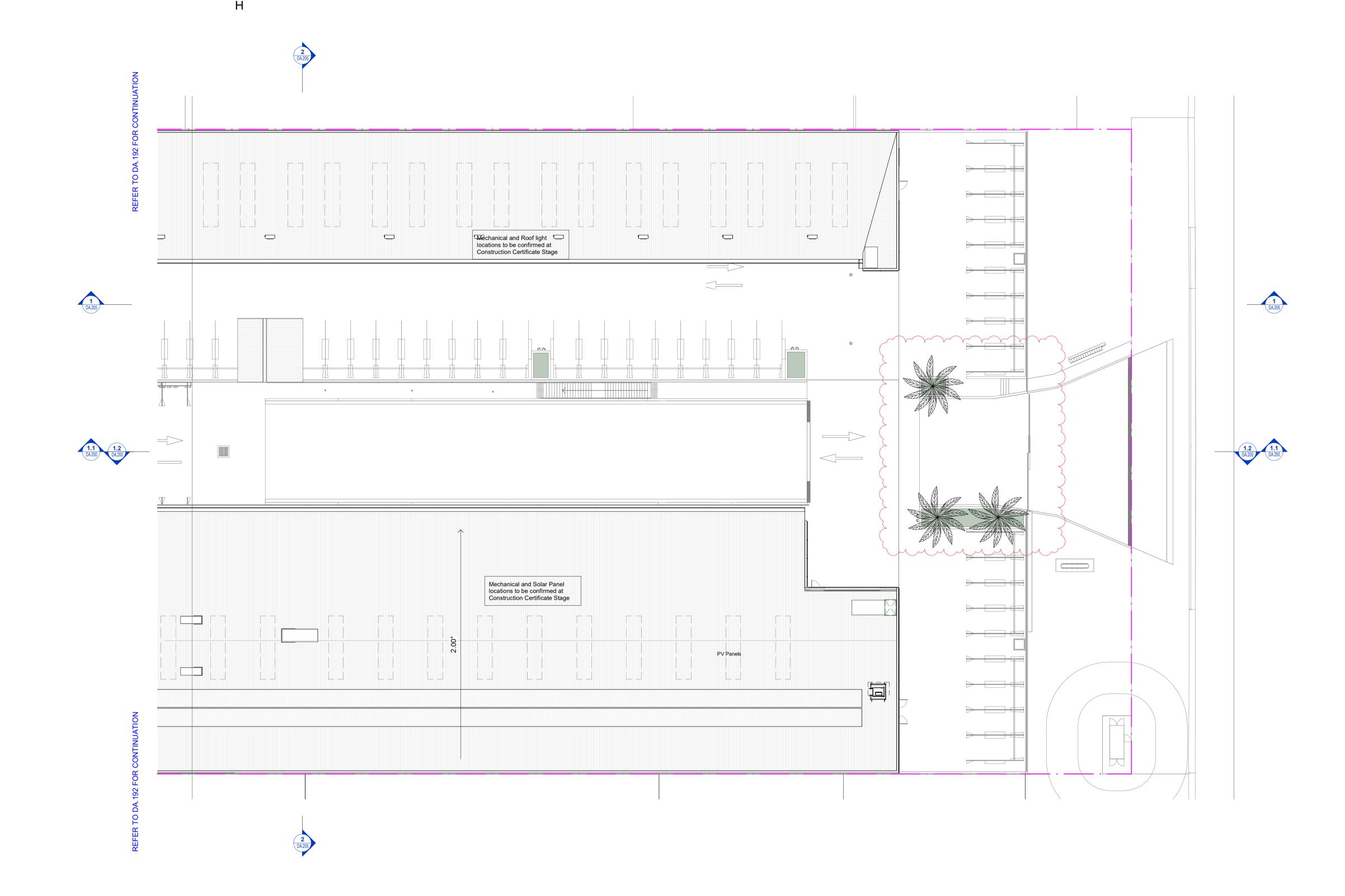
15.09.2022 11.07.2022

18.05.2022

Date







C Issue for Council Review
B DA Amended Plans
A Issue for Development Application

__Rev Descriptio

Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089 BDAA Reg No. 6657

Turner Road

Project

General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - **242-20SP**. All Levels Indicated Taken To Australian Height Datum (AHD)

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All Dimensions to Be Verified On Site (VOS) Prior To Construction /

36 Turner Road, Smeaton Grange, NSW 2567

Proposed Roof Podium 4 – Part 1 Turner

Scale A1 @ As indicated Date September 2022

JOB No. DWG No.

BVR422

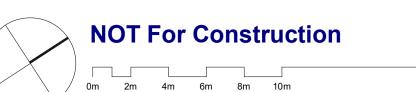
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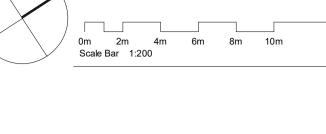
15.09.2022 11.07.2022

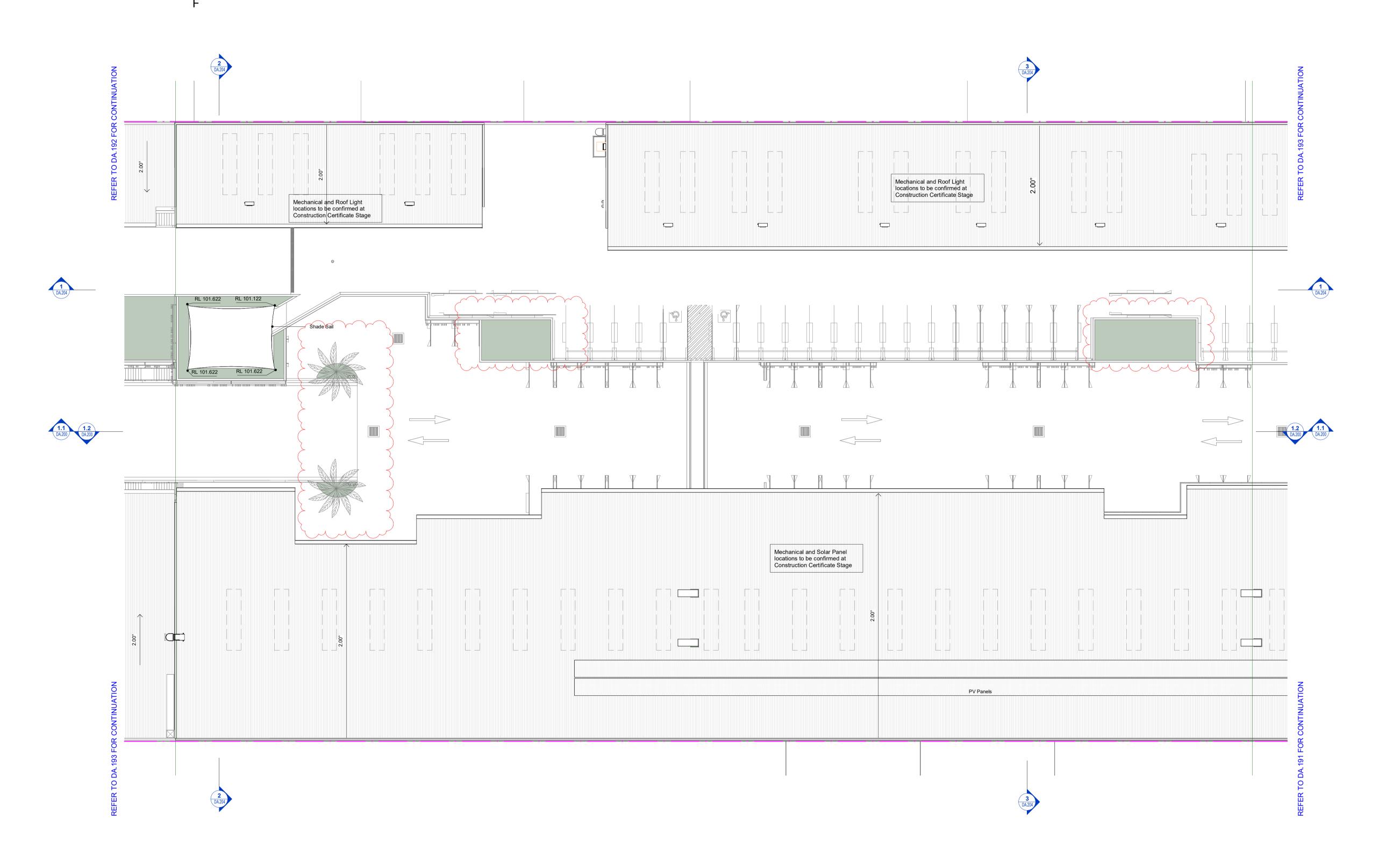
18.05.2022

Date









Toth & Partners Pty Ltd

15.09.2022

11.07.2022

18.05.2022 Date

6/80 Kurraba Road Neutral Bay NSW 2089 BDAA Reg No. 6657

C Issue for Council Review

A Issue for Development Application

B DA Amended Plans

Turner Road

General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - **242-20SP**. All Levels Indicated Taken To Australian Height Datum (AHD)

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All Dimensions to Be Verified On Site (VOS) Prior To Construction /

36 Turner Road, Smeaton Grange, NSW 2567

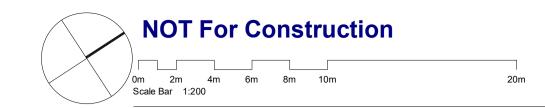
Proposed Roof Podium 4 – Part 2 Turner

Scale A1 @ As indicated September 2022 JOB No. DWG No.

BVR422

DA.192 C







C Issue for Council Review
B DA Amended Plans
A Issue for Development Application

Rev Descript

Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089 BDAA Reg No. 6657

Turner Road

Project

General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - **242-20SP**. All Levels Indicated Taken To Australian Height Datum (AHD)

Levels Prefixed With *RL. Are Interpreted From Existing Survey Information, Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions to Be Verified On Site (VOS) Prior To Construction /

36 Turner Road, Smeaton Grange, NSW 2567

Proposed Roof Podium 4 – Part 3 Turner

Scale A1 @ As indicated Date September 2022

JOB No. DWG No.

BVR422

DA.193 C

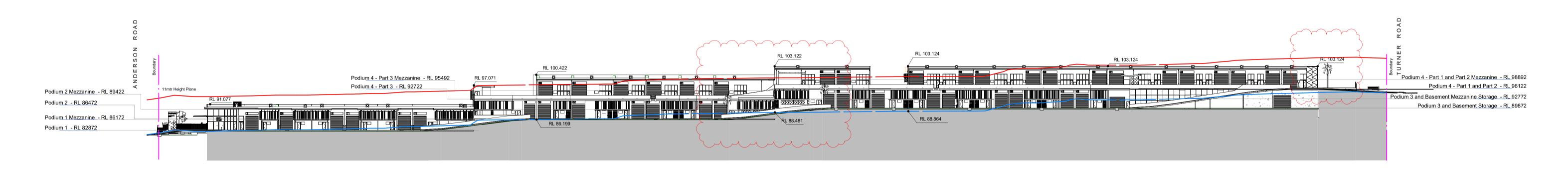
15.09.2022

11.07.2022

18.05.2022

Date

NOT For Construction



1.1 SN long Section

1: 600

Height Plane taken at Section Location.
Refer to GA Plans for Section Location.

Podium 4 - Part 1 and Part 2 Mezzanine - RL 98492
Podium 4 - Part 3 Mezzanine - RL 98492
Podium 3 and Basement Mezzanine Storage - RL 98772
Podium 3 and Basement Storage - RL 98772
Podium 3 and Basement Storage - RL 98772
Podium 1 Mezzanine - RL 98772

1.2 NS long Section
1:600

Height Plane taken at Section Location. Refer to GA Plans for Section Location.

Rev Description Date

Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089
BDAA Reg No. 6657

Turner Road

Tarrior Road

C Issue for Council Review B DA Amended Plans

Project

36 Turner Road,Smeaton Grange, NSW 2567

Title

Long Section

 Scale
 A1 @
 1 : 600
 Date
 September 2022

 JOB No.
 DWG No.

BVR422

DA.200 C

15.09.2022 11.07.2022

Development Application NOT For Construction 3D Longitudinal Section 02

1 3D Longitudinal Section 01

C Issue for Council Review
B DA Amended Plans

A Issue for Development Application

15.09.2022 11.07.2022 18.05.2022

Descri

Date

Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089 BDAA Reg No. 6657

Turner Road

Project

36 Turner Road, Smeaton Grange, NSW 2567

Title

General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - **242-20SP**. All Levels Indicated Taken To Australian Height Datum (AHD)

Levels Prefixed With *RL. Are Interpreted From Existing Survey Information, Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions to Be Verified On Site (VOS) Prior To Construction /

3D Longitudinal Sections

 Scale
 A1 @
 1 : 50
 Date
 September 2022

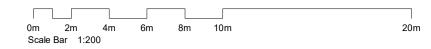
 JOB No.
 DWG No.

BVR422

DA.201 C

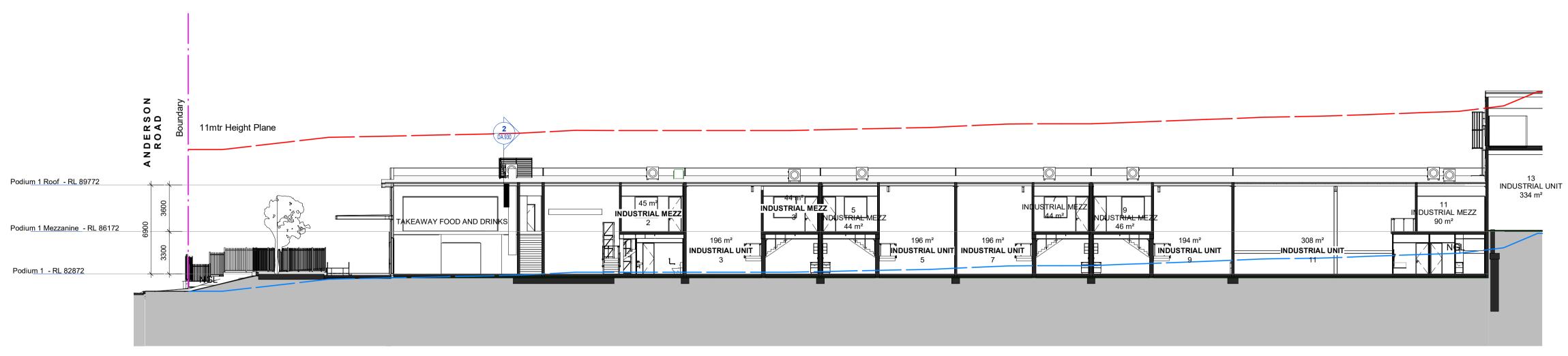


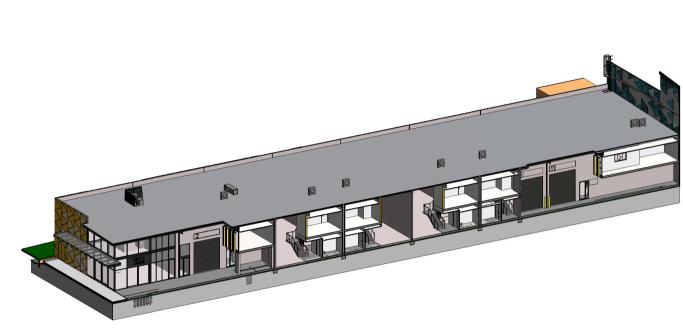






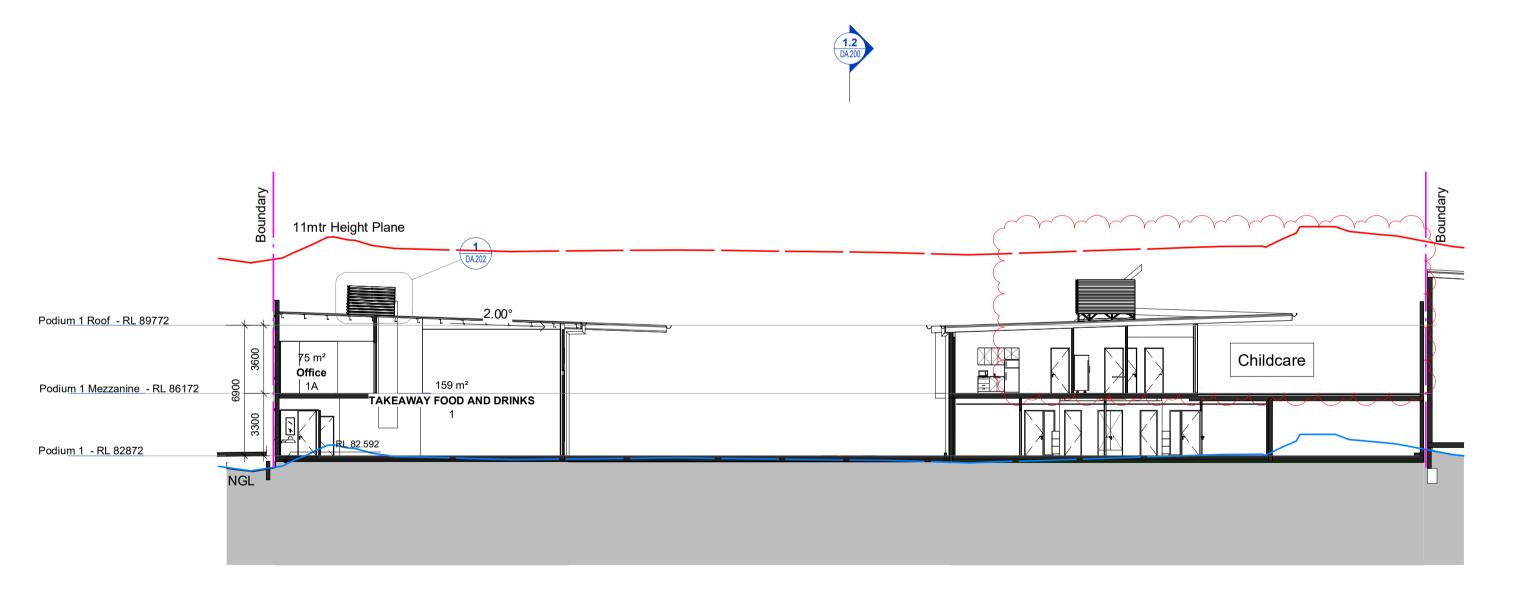
Key Plan





3D View Podium 1 - Section View Area 'A'

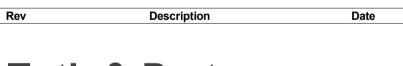




11mtr Height Plane Podium 1 Roof - RL 89772 53 m²
INDUSTRIAL MEZZ 308 m² Podium 1 Mezzanine - RL 86172 148 m²
INDUSTRIAL UNIT INDUSTRIAL UNIT LINDUSTRIAL UNIT Podium 1 - RL 82872

Podium 1 - EW-A Section

Podium 1 - EW-B Section



Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089 BDAA Reg No. 6657

Turner Road

C Issue for Council Review
B DA Amended Plans

A Issue for Development Application

36 Turner Road, Smeaton Grange, NSW 2567

Proposed Podium 1 Sections A-B

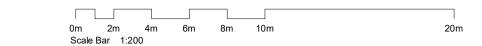
Scale	A1 @	indicated	Date	September 2022
JOB No.			DWG No.	
	,		_	

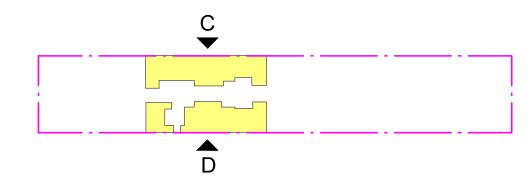
BVR422

DA.202 C

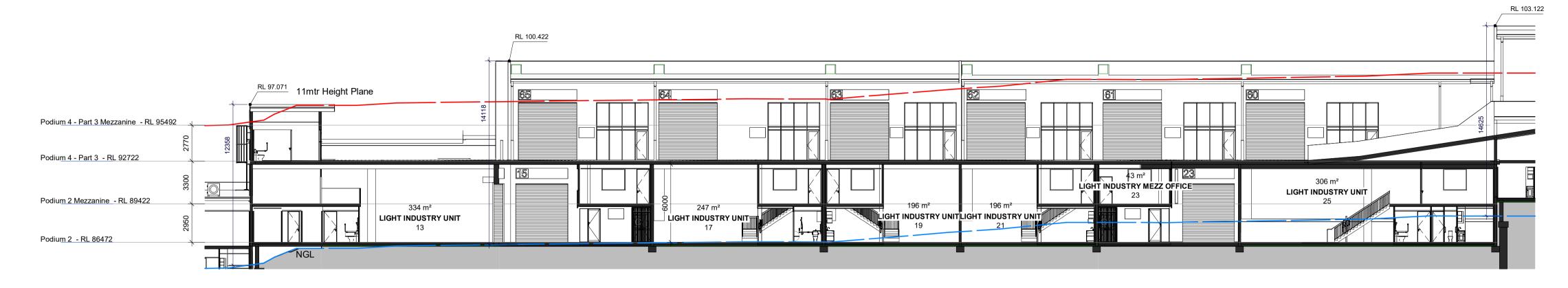
11.07.2022

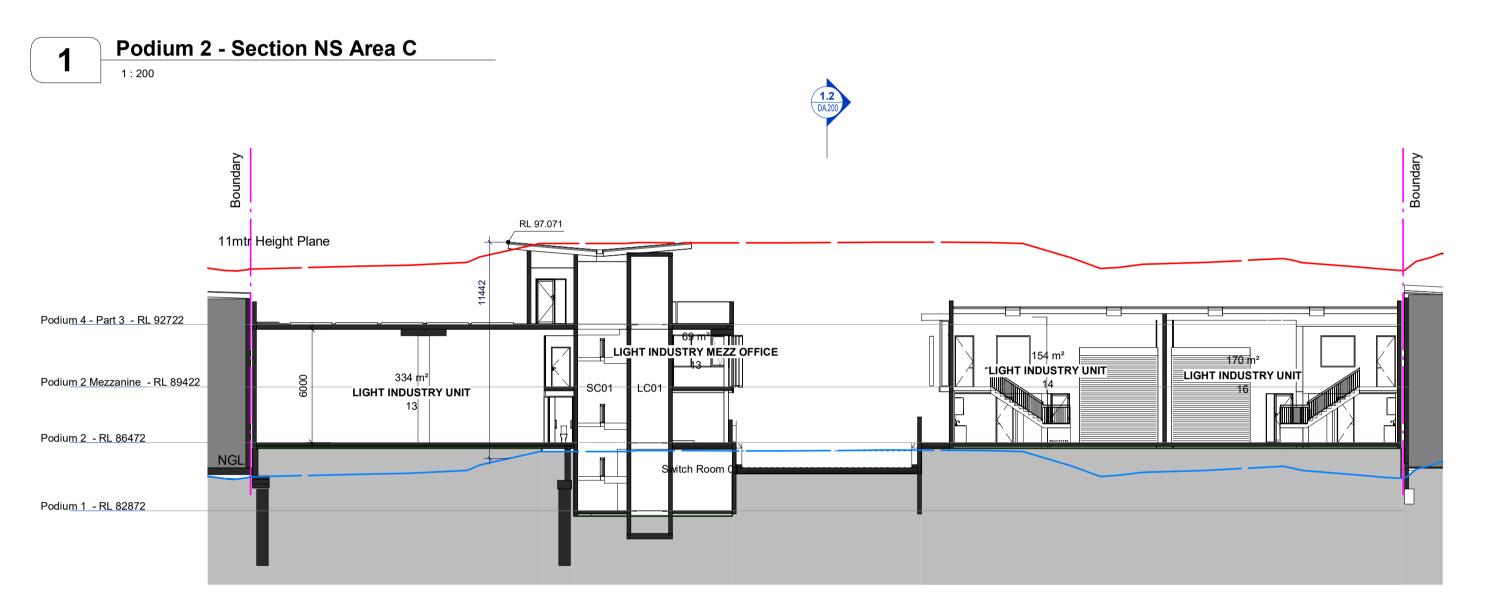
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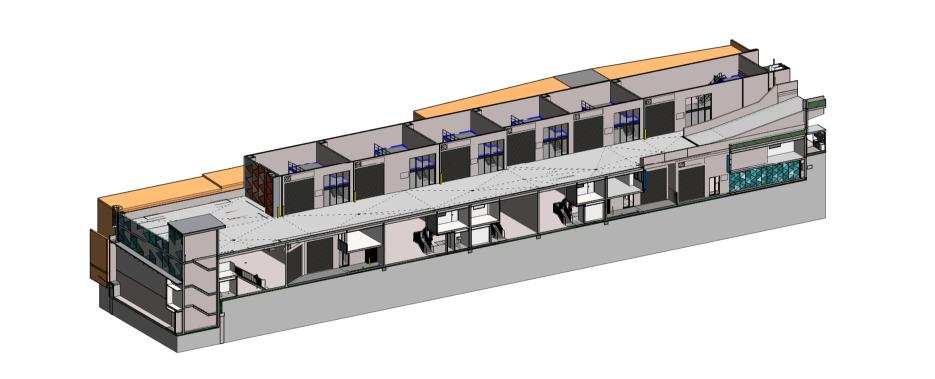




Key Plan



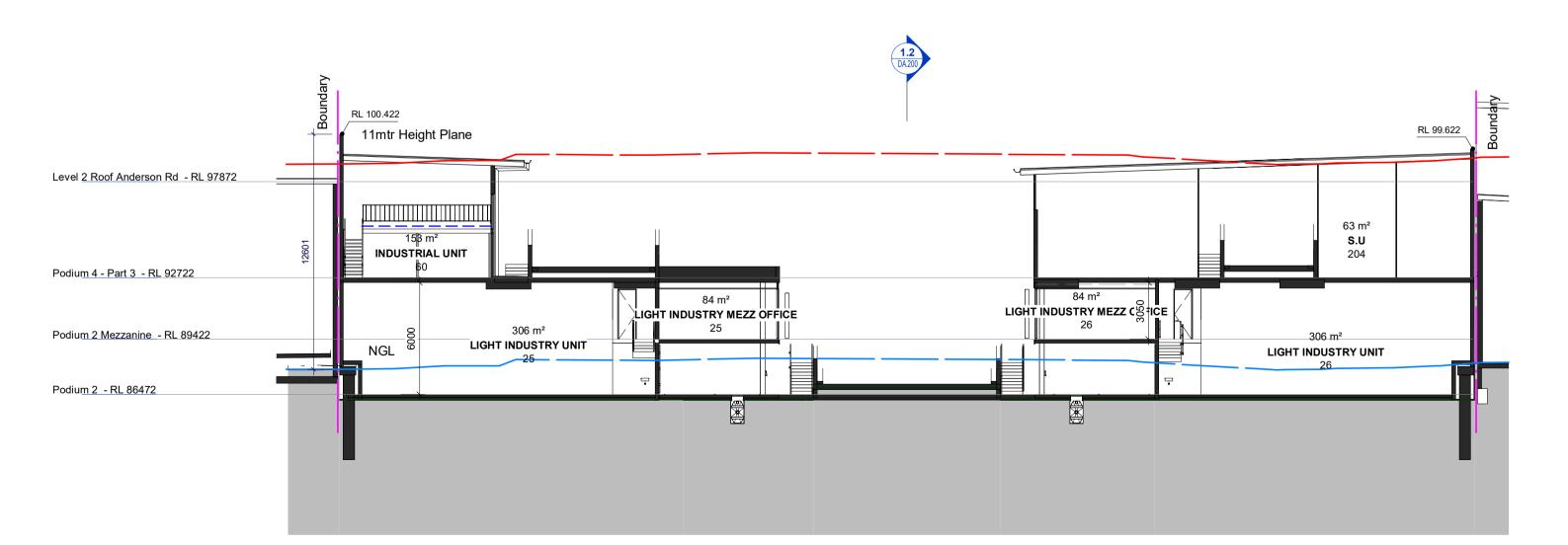


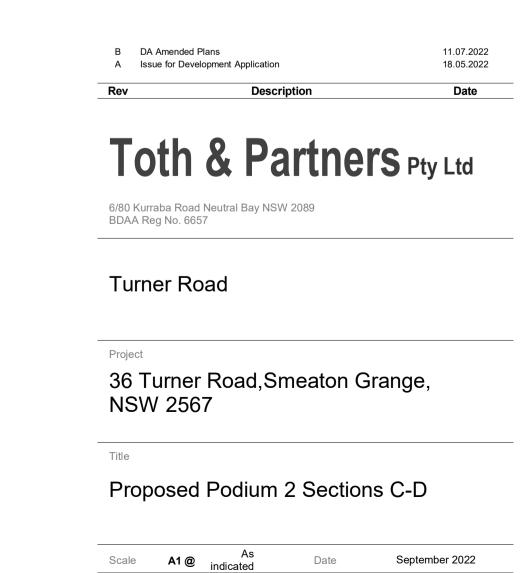


3D View Podium 2 - Section View Area 'C'

Podium 2 - Section EW-A

1:200





DWG No.

DA.203 B

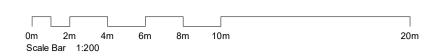
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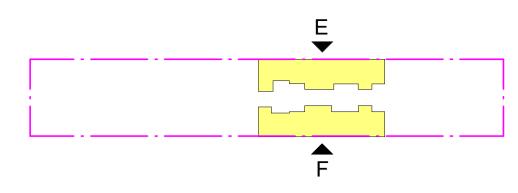
BVR422

Podium 2 - Section 1 EW-B

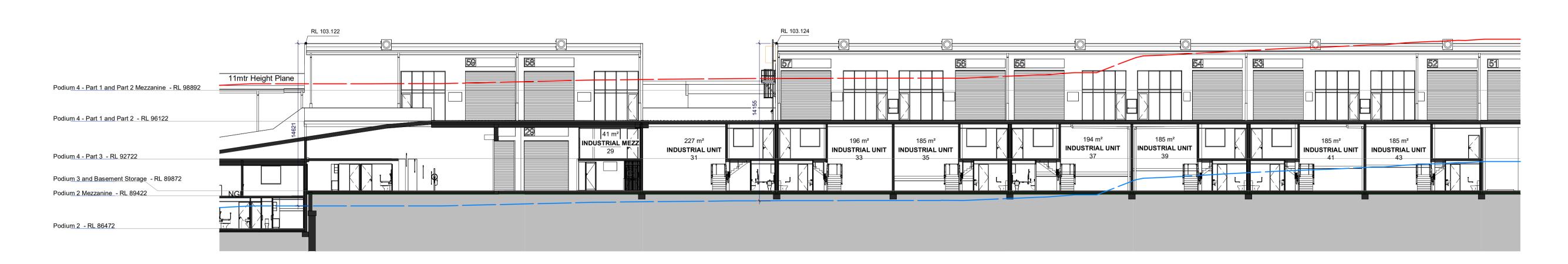
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NOT For Construction

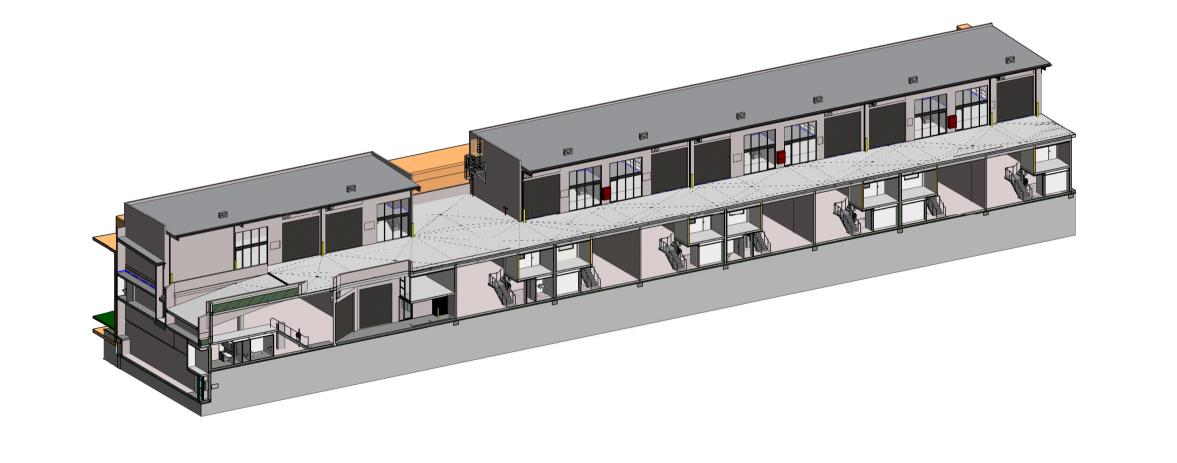




Key Plan

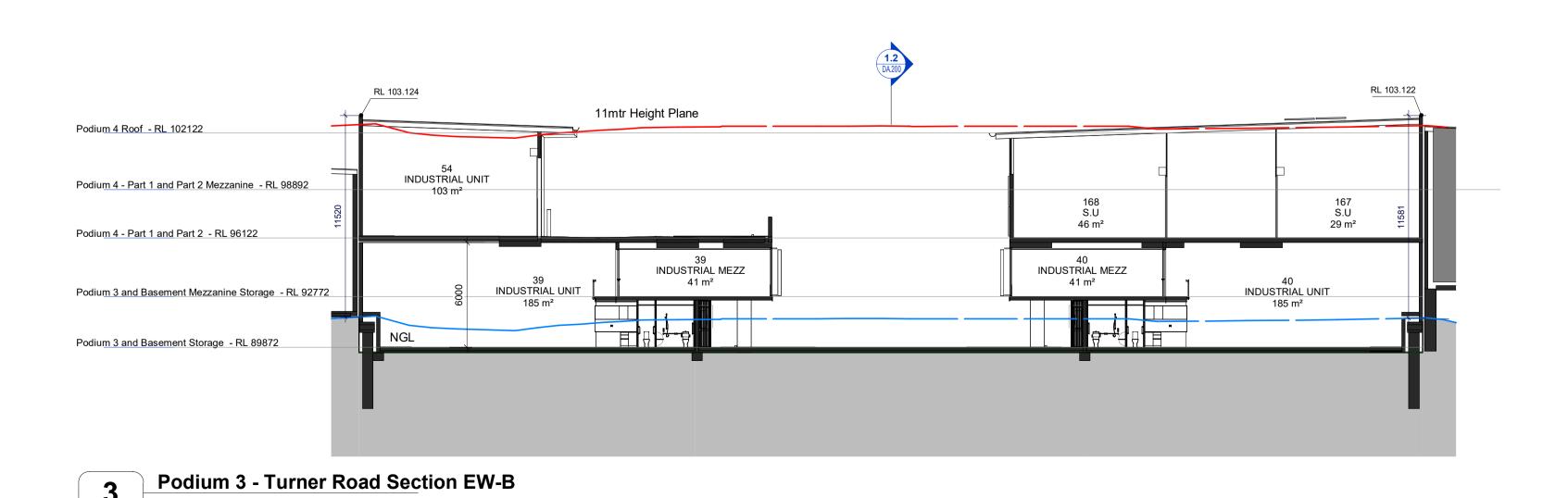


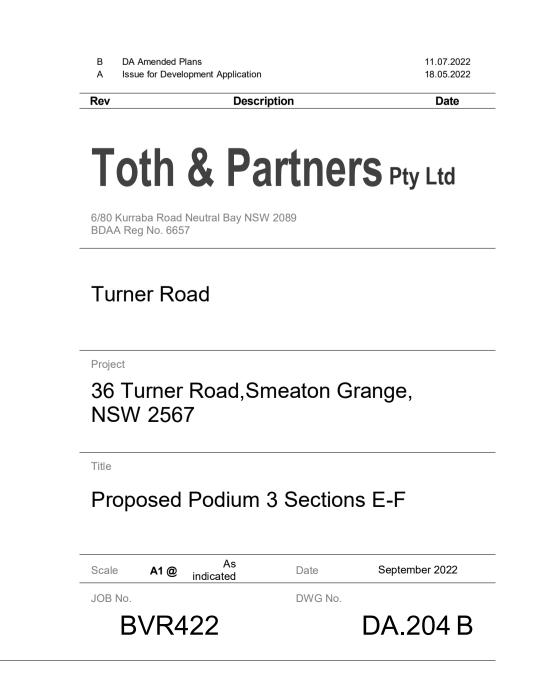
Podium 3 - Section N-S Part 2 RL 102.463 RL 102.120 Podium 4 Roof - RL 102122 11mtr Height Plane 23 m² INDUSTRIAL UNIT **S.U** 202 **S.U** 200 **S.U** 199 S.U Podium 4 - Part 1 and Part 2 - RL 96122 INDUSTRIAL MEZZ 328 m² INDUSTRIAL UNIT INDUSTRIAL UNIT Podium 3 and Basement Storage - RL 89872 Podium 2 - RL 86472



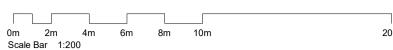
3D View Podium 3 - Section View Area 'E'

Podium 3 - Turner Road Section EW-A





NOT For Construction





Key Plan



Podium 4 - Section N-S Part 1

Podium 4 Roof - Rt. 102122

Podium 4 - Part 1 and Part 2 - Rt. 98122

Podium 3 and Basement Mezzanine Storage - Rt. 88872

Podium 3 and Basement Storage - Rt. 88872

Podium 3 and Basement Storage - Rt. 88872

General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - **242-20SP**. All Levels Indicated Taken To Australian Height Datum (AHD)

Levels Prefixed With *RL. Are Interpreted From Existing Survey Information, Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions to Be Verified On Site (VOS) Prior To Construction /

Podium 4 - Section EW-AA

3D View Podium 4 - Section View Area 'G'

Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089 BDAA Reg No. 6657

Turner Road

B DA Amended Plans

A Issue for Development Application

Project

36 Turner Road, Smeaton Grange, NSW 2567

Title

Proposed Podium 4 Sections G-H

Scale	A1 @	As indicated	Date	September 2022
JOB No.			DWG No.	
D,	\ /D /	122		DA20ED

BVR422

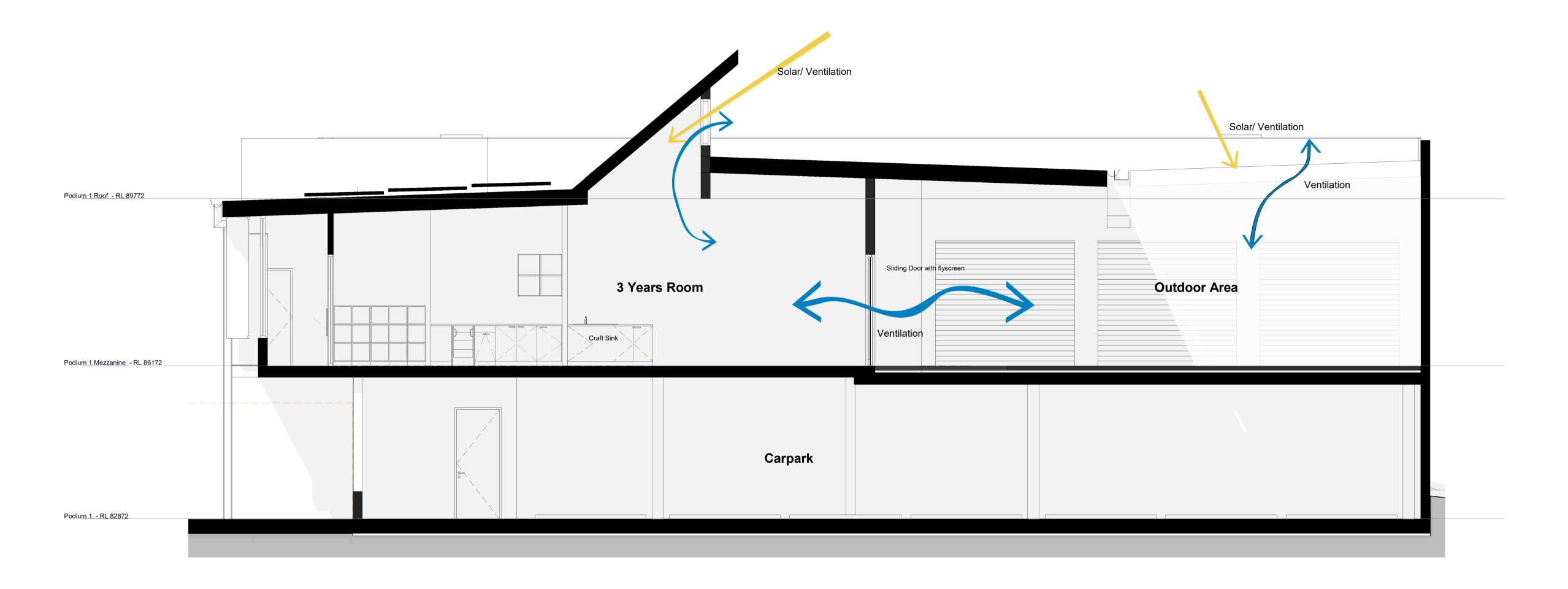
DA.205 B

11.07.2022

18.05.2022

Date

NOT For Construction



Rev Description Date

Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089
BDAA Reg No. 6657

Turner Road

Project
36 Turner Road, Smeaton Grange, NSW 2567

Title

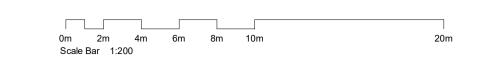
Childcare First Floor Section

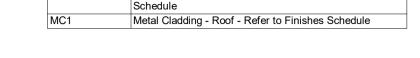
DWG No.

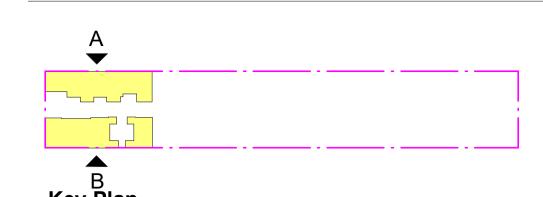
DA.206 A

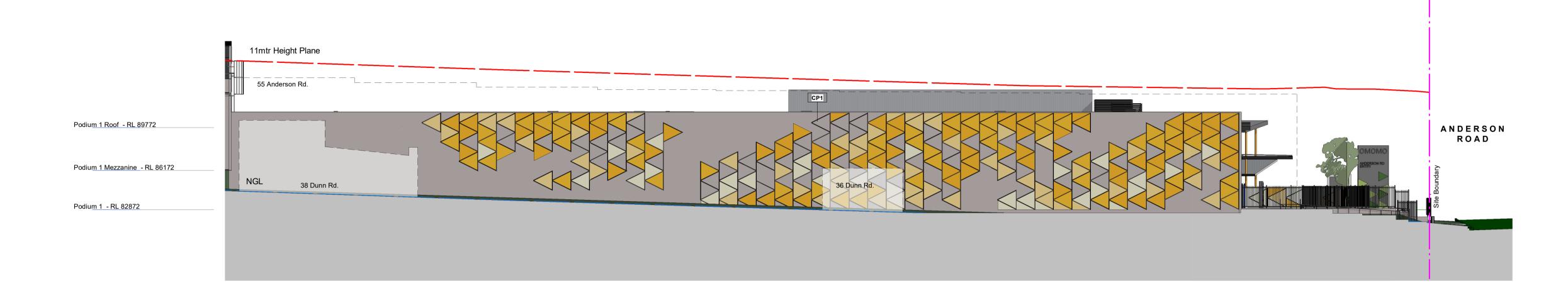
JOB No.

BVR422

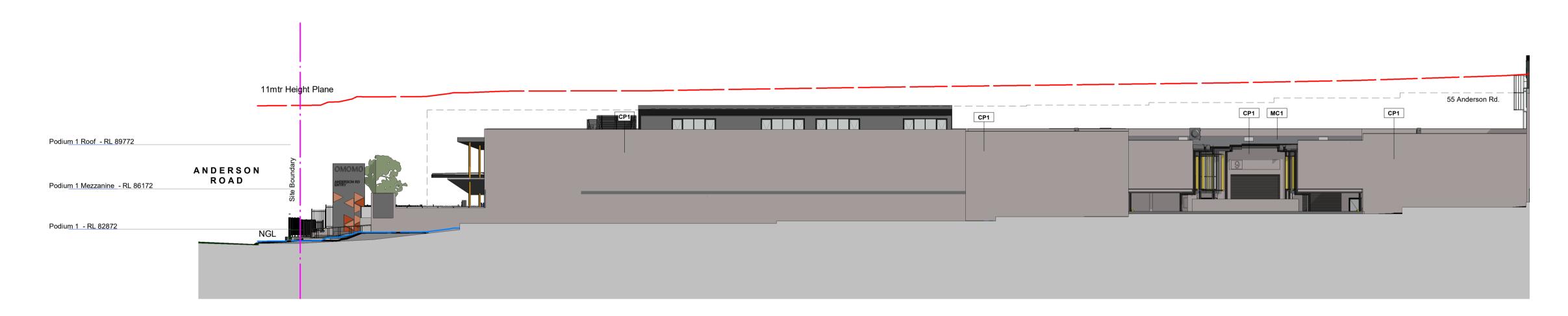




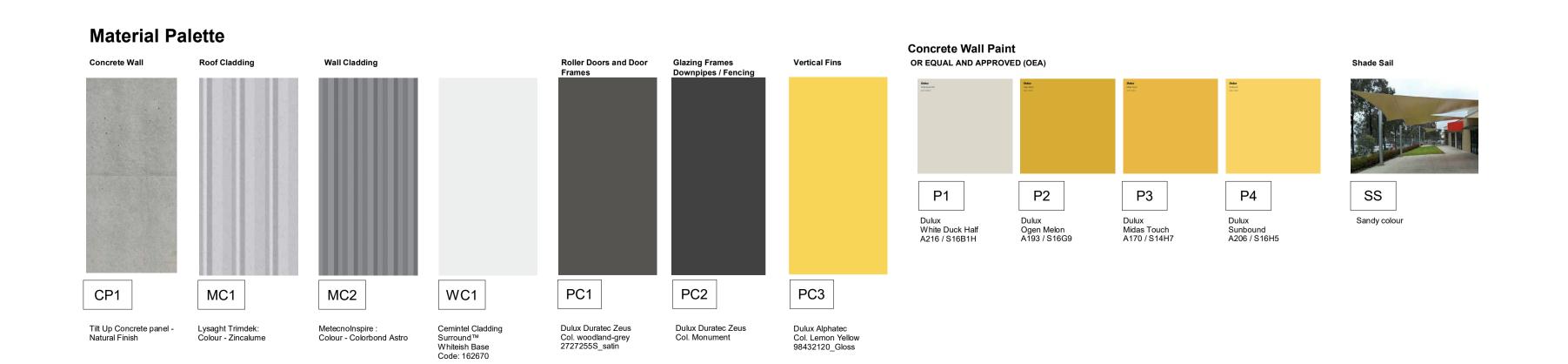


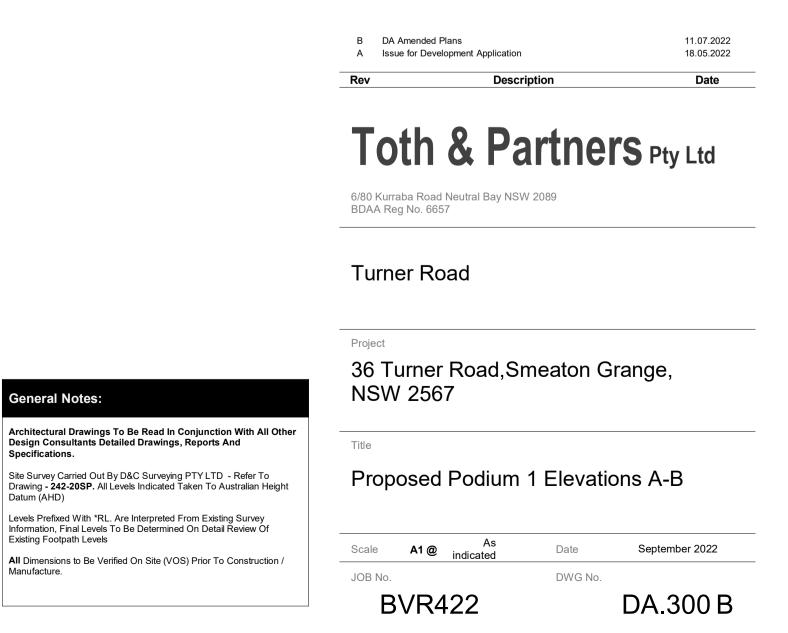


1.0 North-West Elevation A

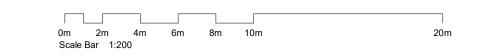


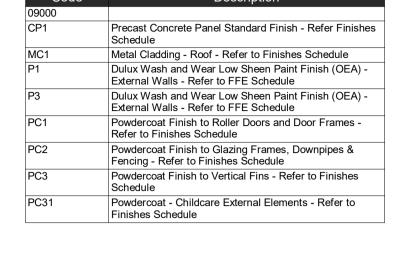
South-East Elevation B

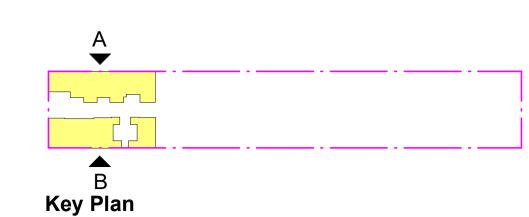




General Notes:









Elevation Anderson St.



South _East Elevation Internal A



North-West Elevation Internal B

Lysaght Trimdek: Colour - Zincalume

Metecnolnspire:

Colour - Colorbond Astro

Tilt Up Concrete panel -

Material Palette Wall Cladding Roller Doors and Door Glazing Frames Vertical Fins PC2 PC1 PC3 CP1 MC1 WC1

Cemintel Cladding

Whiteish Base Code: 162670

Dulux Duratec Zeus

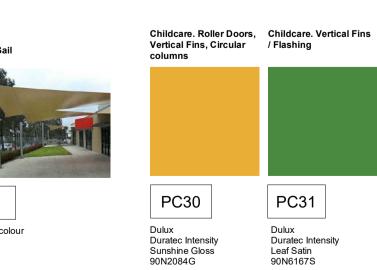
Col. woodland-grey 2727255S_satin

Dulux Duratec Zeus

Col. Monument

Concrete Wall Paint OR EQUAL AND APPROVED (OEA) P1 P2 SS P3 P4 Dulux Sunbound A206 / S16H5 Sandy colour Midas Touch A170 / S14H7 Ogen Melon A193 / S16G9 White Duck Half A216 / S16B1H

Dulux Alphatec Col. Lemon Yellow 98432120_Gloss



General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications. Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - **242-20SP**. All Levels Indicated Taken To Australian Height Datum (AHD) Levels Prefixed With *RL. Are Interpreted From Existing Survey Information, Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions to Be Verified On Site (VOS) Prior To Construction /

Description Date Toth & Partners Pty Ltd

11.07.2022

18.05.2022

6/80 Kurraba Road Neutral Bay NSW 2089 BDAA Reg No. 6657

B DA Amended Plans

A Issue for Development Application

Turner Road

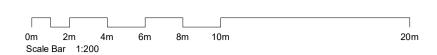
36 Turner Road, Smeaton Grange, NSW 2567

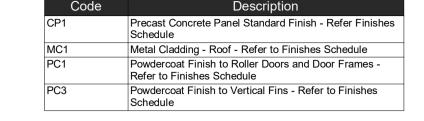
Proposed Podium 1 Elevations A-B

Scale	A1 @	As indicated	Date	September 2022
JOB No.			DWG No.	

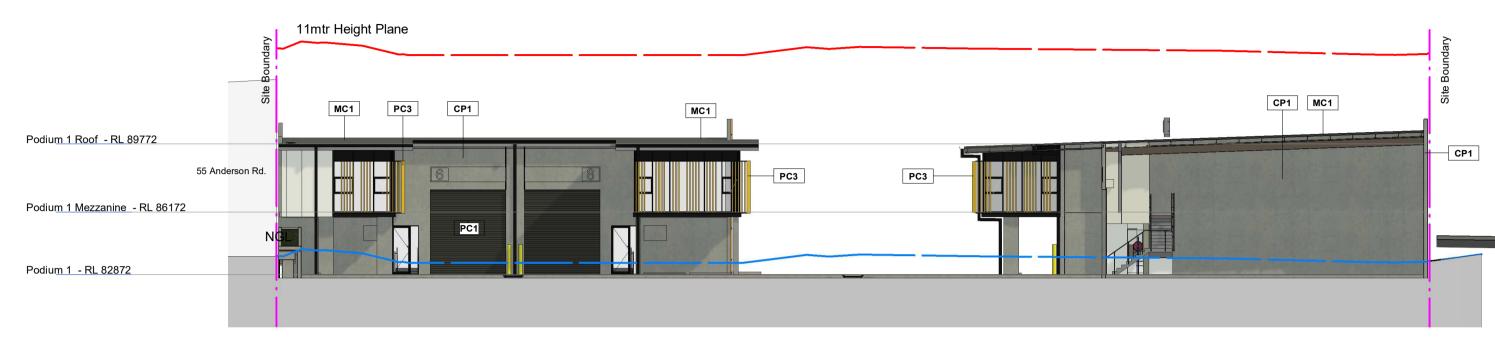
BVR422 DA.301 B

NOT For Construction





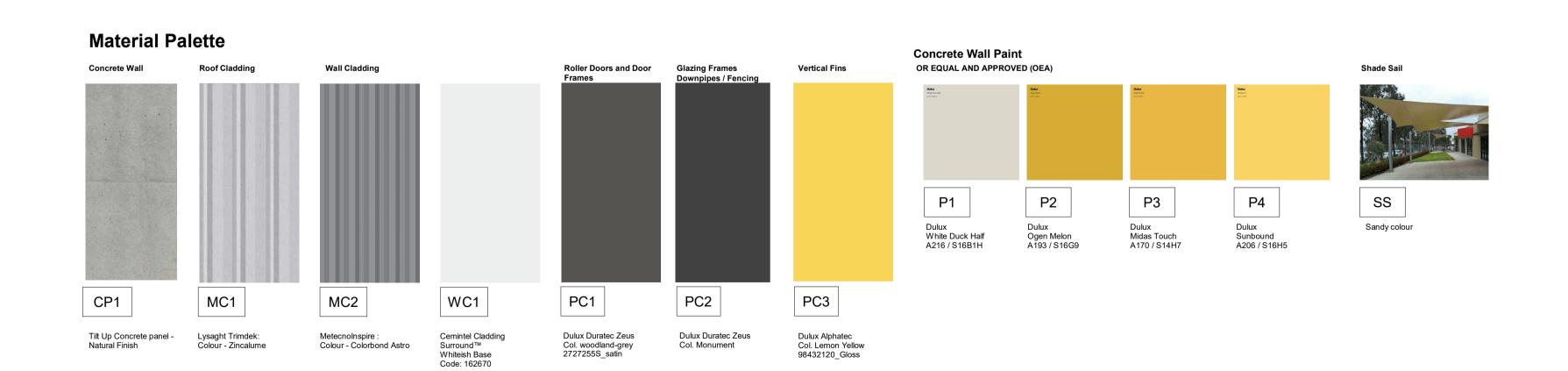




1.3 North-East Elevation Internal B



1.4 South-East Elevation internal B



Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089
BDAA Reg No. 6657

Turner Road

B DA Amended Plans

A Issue for Development Application

Project

36 Turner Road, Smeaton Grange, NSW 2567

Title

General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - **242-20SP**. All Levels Indicated Taken To Australian Height Datum (AHD)

Levels Prefixed With *RL. Are Interpreted From Existing Survey Information, Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions to Be Verified On Site (VOS) Prior To Construction /

Proposed Podium 1 Elevations A-B

Scale A1 @ As indicated Date September 2022

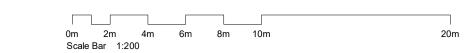
JOB No. DWG No.

BVR422

DA.302 B

11.07.2022

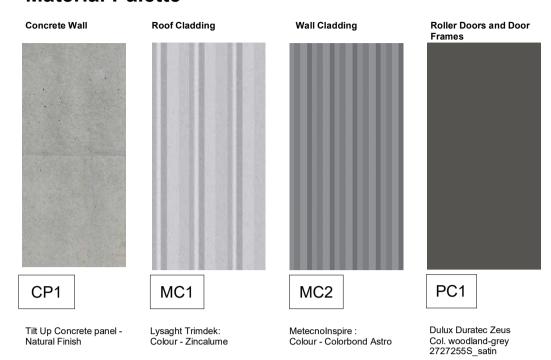
18.05.2022

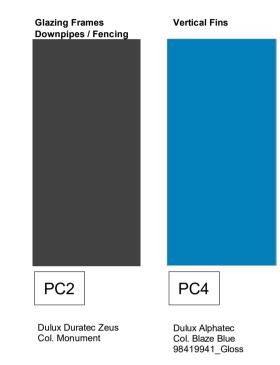


Material Palette

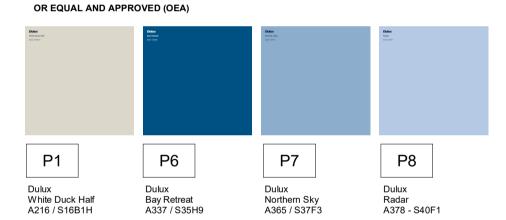
Podium 4 Roof - RL 102122

MC1 CP1





Concrete Wall Paint





Podium 2 Mezzanine - RL 89422

South-East Elevation Internal D

Podium 2 - RL 86472

Toth & Partners Pty Ltd

11.07.2022 18.05.2022

6/80 Kurraba Road Neutral Bay NSW 2089 BDAA Reg No. 6657

Turner Road

C Issue for Council ReviewB DA Amended Plans

A Issue for Development Application

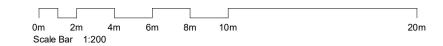
36 Turner Road, Smeaton Grange, NSW 2567

е

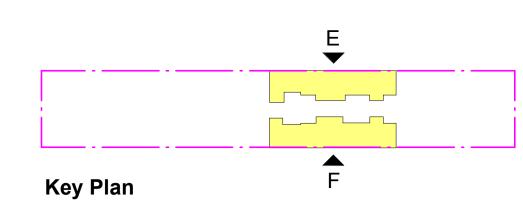
Proposed Podium 2 Elevations C-D

Scale	A1 @	As indicated	Date	September 2022
JOB No.			DWG No.	
В	VR4	122		DA.303 C

NOT For Construction



Code	Description
CP1	Precast Concrete Panel Standard Finish - Refer Finishes Schedule
MC1	Metal Cladding - Roof - Refer to Finishes Schedule
MC2	Metal Cladding - Warehouse External Walls (Upper) - refer to Finishes Schedule
PC5	Powdercoat Finish to Vertical Fins - Refer to Finishes Schedule
SS	Shade Sail. Refer Finishes / FFE Schedule



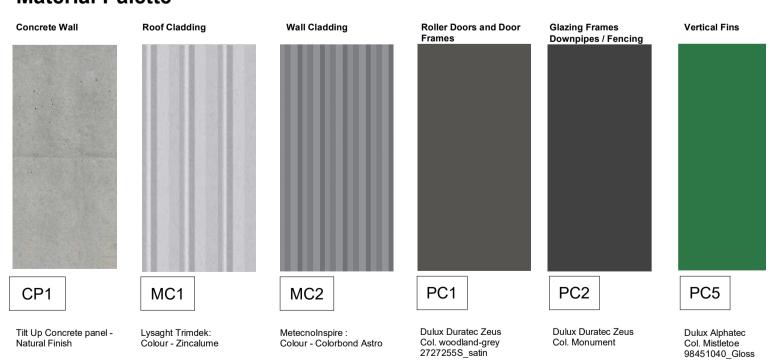


1.0 South-East Elevation Internal E



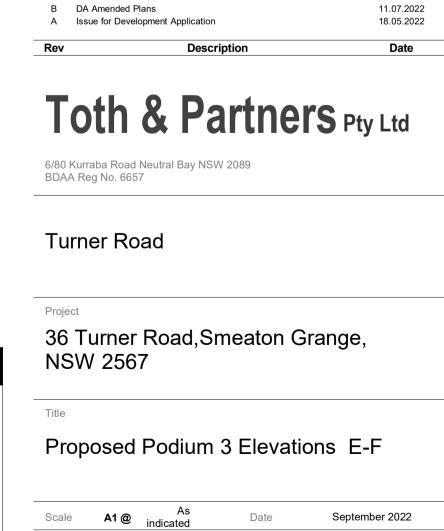
1.1 North West Elevation Internal F

Material Palette





Architectural Drawings To Be Read In Conjunction With All Oth Design Consultants Detailed Drawings, Reports And Specifications. Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD) Levels Prefixed With *RL. Are Interpreted From Existing Survey	General Note	es:
Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD) Levels Prefixed With *RL. Are Interpreted From Existing Survey	Design Consultan	
	Drawing - 242-20SI	
Information, Final Levels To Be Determined On Detail Review Of Existing Footpath Levels	Information, Final Le	evels To Be Determined On Detail Review Of



DWG No.

DA.304 C

15.09.2022

C Issue for Council Review

JOB No.

BVR422

NOT For Construction





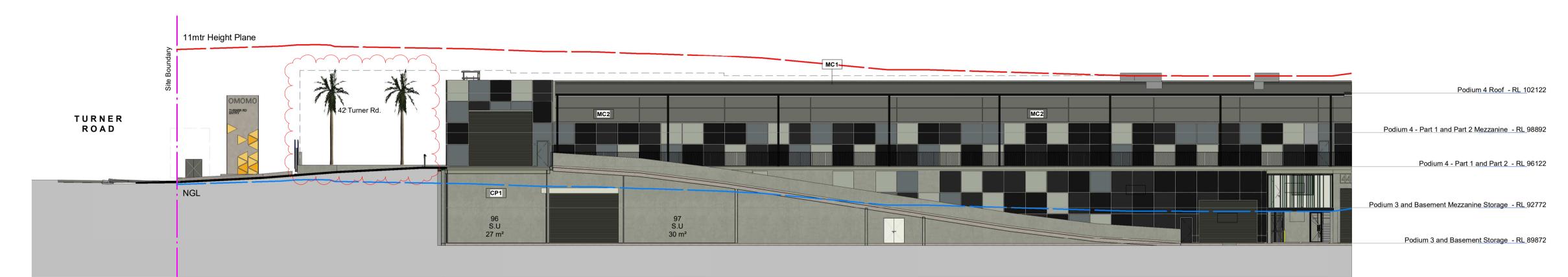


G ▼

Key Plan



South-East Elevation Internal G

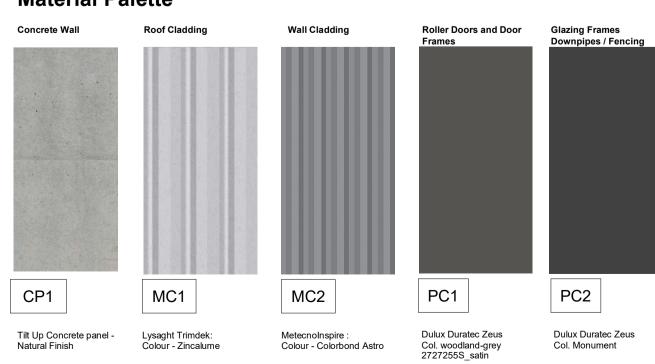


North-West Elevation Internal H



Tuner Road Elevation 1:200

Material Palette





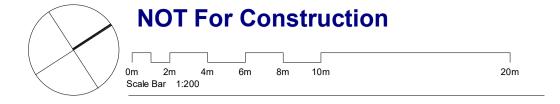
C Issue for Council Review 15.09.2022 B DA Amended Plans 11.07.2022 18.05.2022 A Issue for Development Application Date Toth & Partners Pty Ltd 6/80 Kurraba Road Neutral Bay NSW 2089 BDAA Reg No. 6657 Turner Road 36 Turner Road, Smeaton Grange, NSW 2567 Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications. Proposed podium 4 Elevations G-H Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - **242-20SP**. All Levels Indicated Taken To Australian Height Datum (AHD) Scale A1 @ As indicated September 2022 All Dimensions to Be Verified On Site (VOS) Prior To Construction / JOB No. DWG No.

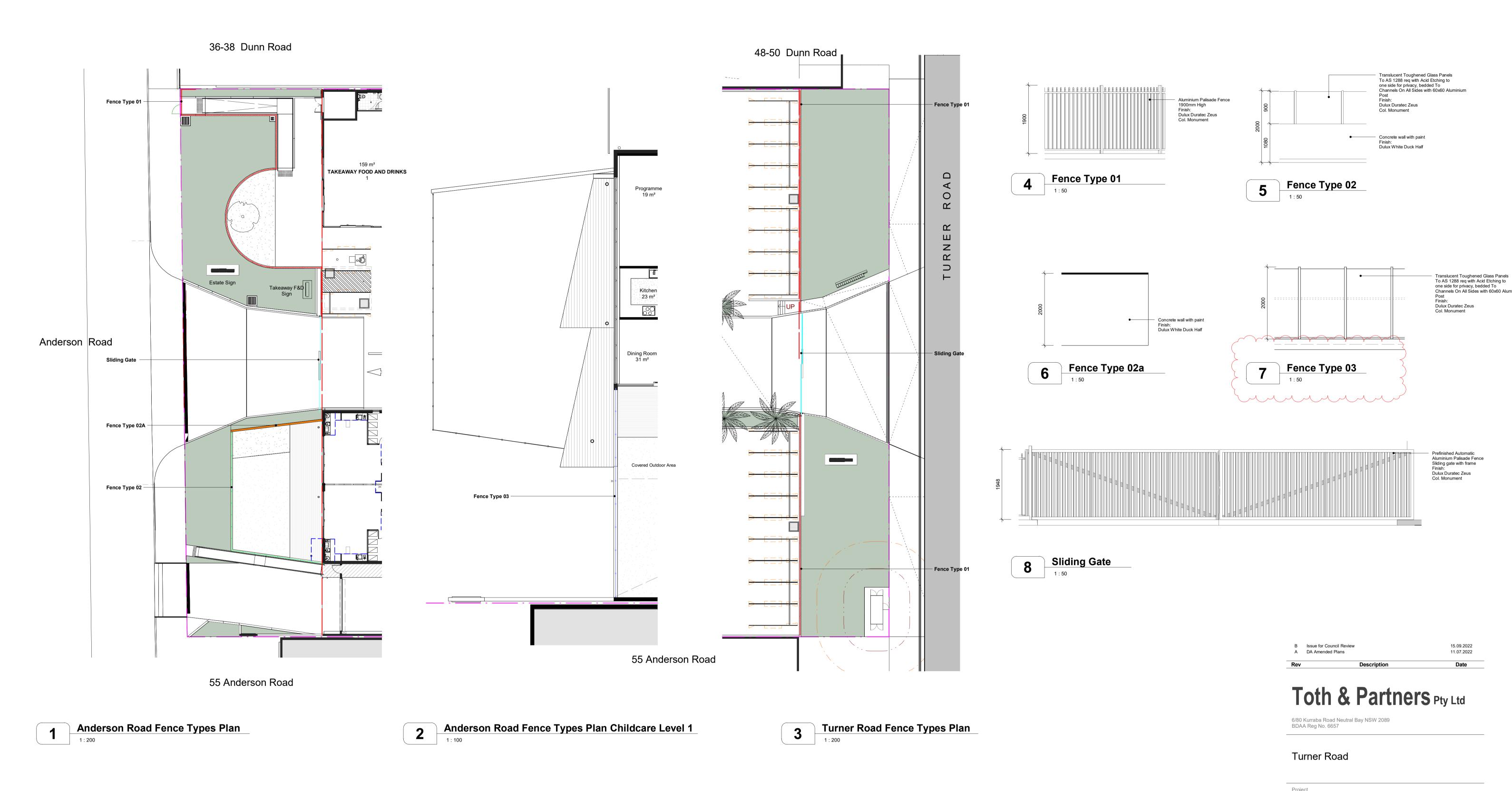
DA.305 C

BVR422

General Notes:

Levels Prefixed With *RL. Are Interpreted From Existing Survey Information, Final Levels To Be Determined On Detail Review Of Existing Footpath Levels





General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTYLTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD)

Levels Prefixed With *RL. Are Interpreted From Existing Survey Information, Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

Existing Footpath Levels

All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.

Title

NSW 2567

36 Turner Road, Smeaton Grange,

Proposed Fence Types

 Scale
 A1 @ indicated
 As indicated
 Date
 September 2022

 JOB No.
 DWG No.

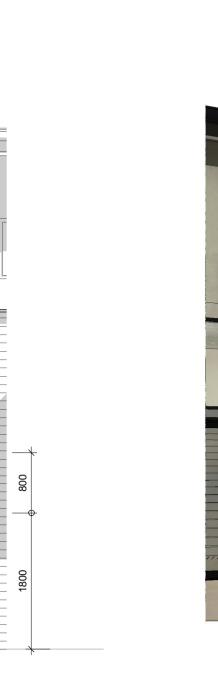
 BVR422
 DA.800 B

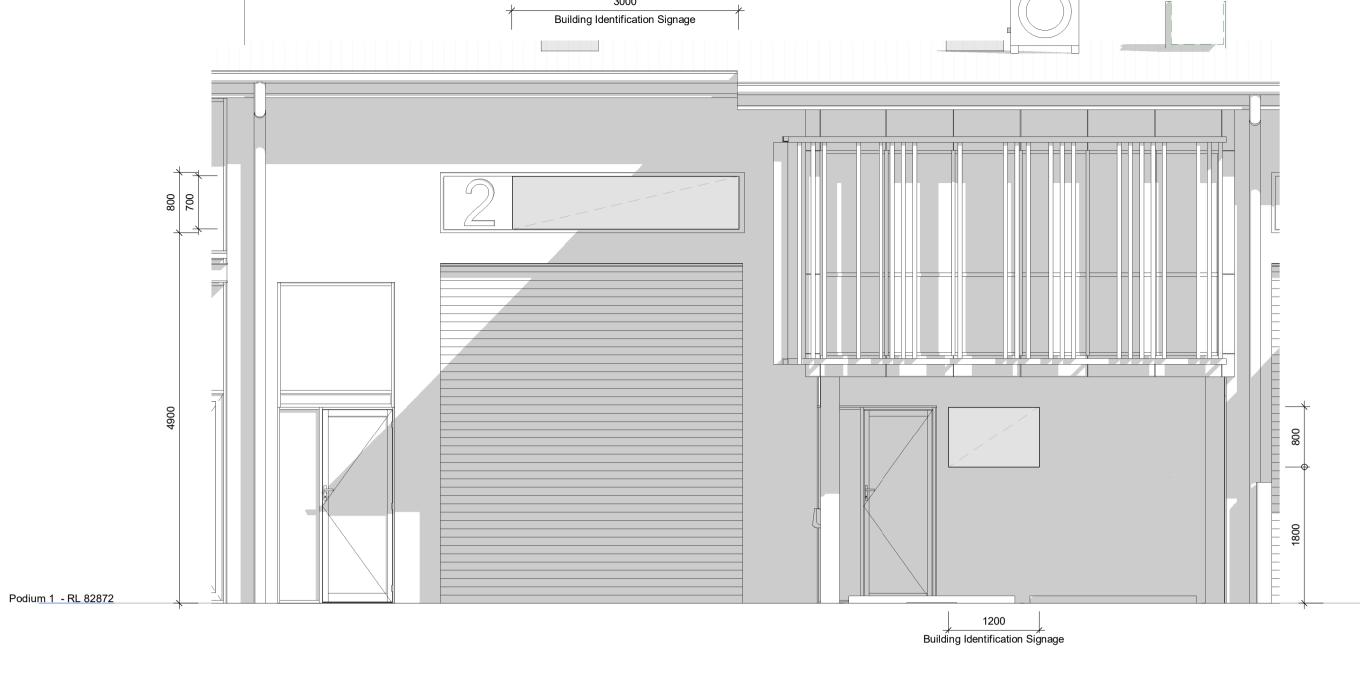
Development Application

* Builiding information sign
- Limited to the occupiers' business name and logo.
No products or general advertising allowed.

* Estate Name

- To be confirmed prior to occupation certificate.

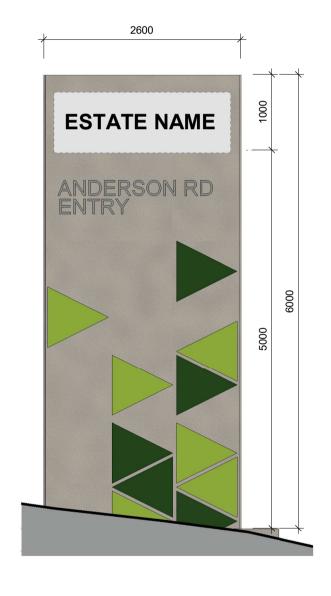




1.0 Typical Industrial Unit Signage

1.1 Typical Industrial Unit Signage









2.0 Estate Sign Anderson Road (Front)

1:50

2.1 Estate Sign Anderson Road (Back)

3.0 Estate Sign Tuner Road (Front)

1:50

3 1 Estate Sign Tuner Road (Back)

Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089
BDAA Reg No. 6657

Turner Road

Project

36 Turner Road, Smeaton Grange,
NSW 2567

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - **242-20SP**. All Levels Indicated Taken To Australian Height Datum (AHD)

Levels Prefixed With *RL. Are Interpreted From Existing Survey Information, Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

Existing Footpath Levels

All Dimensions to Be Verified On Site (VOS) Prior To Construction /
Manufacture.

Estate Signage

A Issue for Development Application

Description

 Scale
 A1 @
 1:50
 Date
 September 2022

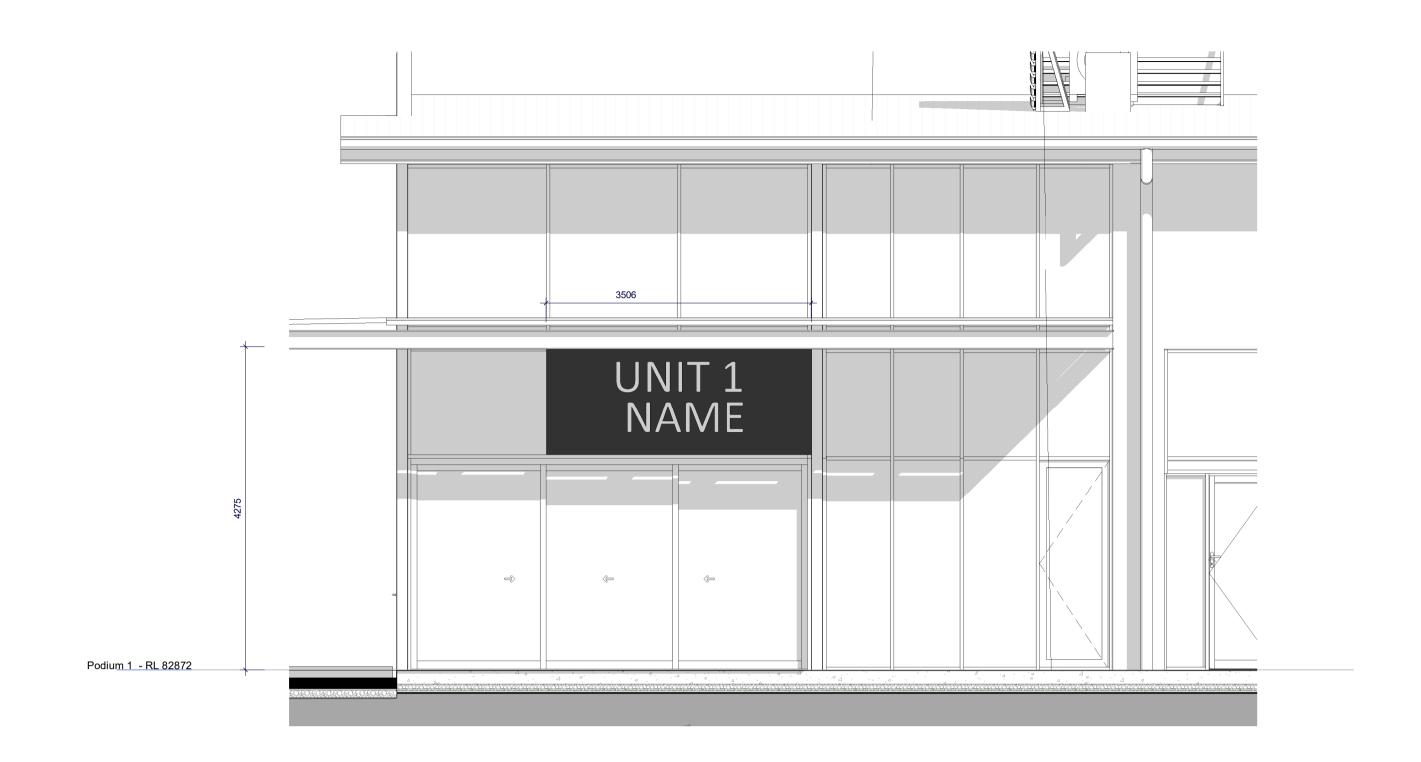
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 DWG No.

 BVR422
 DA.920 A

18.05.2022

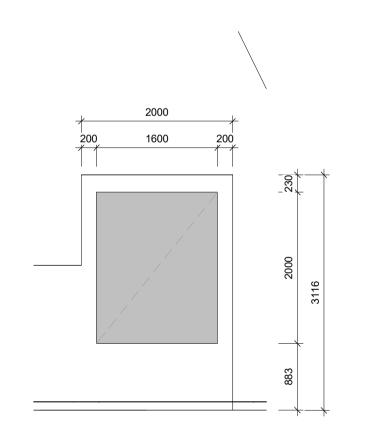
Date

Development Application

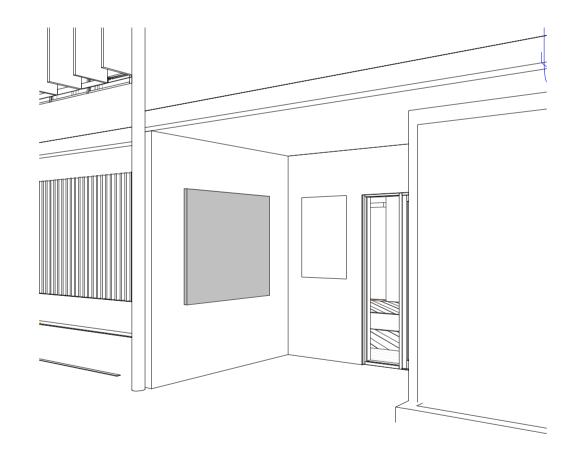


1.0 Takeaway Food and Drink

2.0 Takeaway Food and Drink



Podium 1 Mezzanine - RL 86172 Podium 1 - RL 82872



Childcare Sign 02

Childcare Sign 02



2.1 3D View Takeaway Food and Drink

18.05.2022 A Issue for Development Application Description Date

Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089 BDAA Reg No. 6657

Turner Road

36 Turner Road, Smeaton Grange, NSW 2567

Title

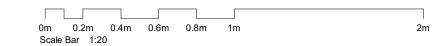
September 2022 DWG No. BVR422 DA.921 A

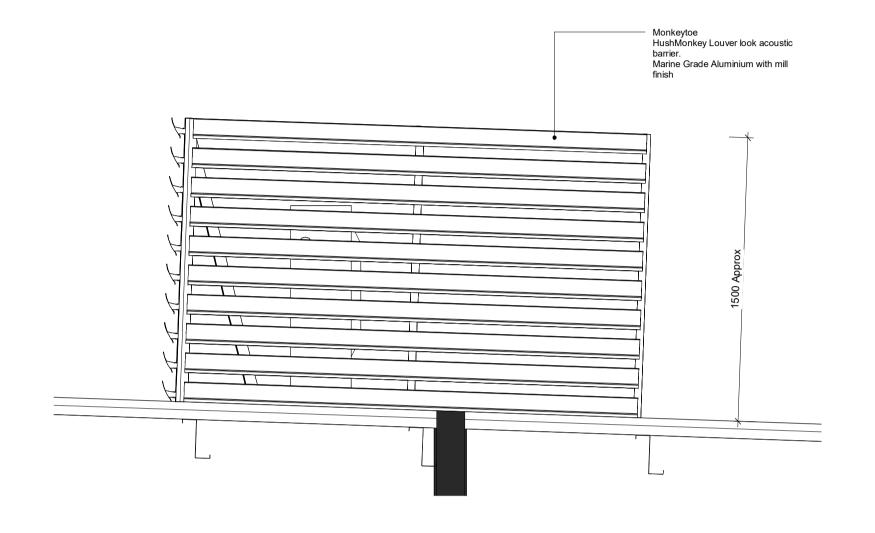
Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications. Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD) Estate Signage Levels Prefixed With *RL. Are Interpreted From Existing Survey Information, Final Levels To Be Determined On Detail Review Of Existing Footpath Levels Scale **A1 @** 1:50 All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture. JOB No.

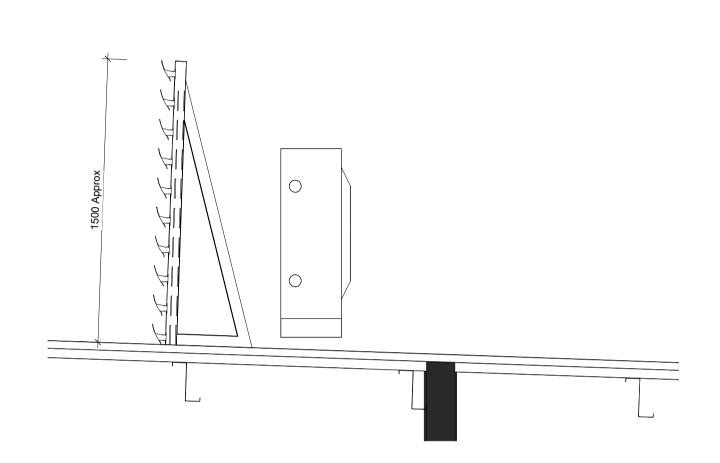
General Notes:

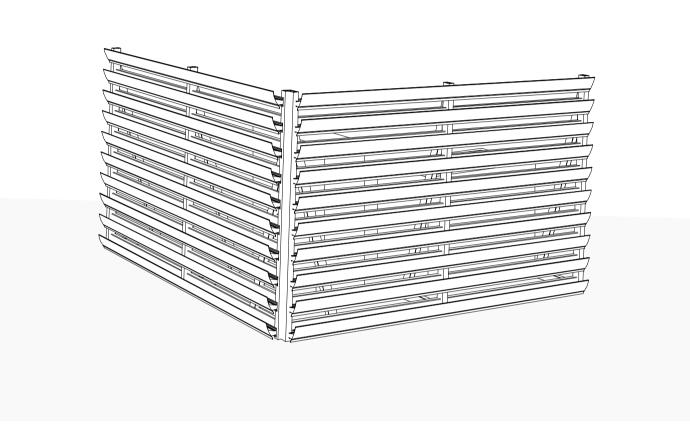
Development Application

NOT For Construction









1 Typical Louver Screen

2 Typical Louver Screen Section

3D View Mech Screen

A DA Amended Plans 11.07.2022

Rev Description Date

Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089 BDAA Reg No. 6657

Turner Road

Project

36 Turner Road, Smeaton Grange, NSW 2567

Title

General Notes:

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Levels Prefixed With *RL. Are Interpreted From Existing Survey Information, Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.

Typical Mechanical Plant Screening

Scale A1 @ As indicated Date September 2022

JOB No. DWG No.

BVR422

DA.930 A

GENERAL

NOTES FOR WORKS IN COUNCIL AREA

- 1. ALL WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CAMDEN COUNCIL WORKS STANDARD AND TO COUNCIL ENGINEERS REQUIREMENTS.
- THE CONSTRUCTOR SHALL PREPARE A DILAPIDATION REPORT FOR THE EXISTING INFRASTRUCTURE WITHIN THE ROAD RESERVE, INCLUDING BUT NOT LIMITED TO KERBS, GUTTERS, FOOTPATHS, VEHICULAR CROSSINGS, STREET SIGNS, SERVICE FITTING COVERS, ETC.
- 3. THE CONSTRUCTOR SHALL REVIEW, BE AWARE AND AT ALL TIMES COMPLY WITH THE SPECIFIC REQUIREMENTS FOR THIS DEVELOPMENT AS SET OUT IN THE DEVELOPMENT APPROVAL FOR THE
- 4. THE CONSTRUCTOR SHALL ALLOW TO LIAISE WITH AND PROVIDE SUFFICIENT NOTICE TO THE COUNCIL ENGINEER TO ENSURE THAT ALL WORKS ARE INSPECTED TO ENABLE COMPLIANCE CERTIFICATES TO BE ISSUED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONSTRUCTOR SHALL LIAISE WITH THE COUNCIL ENGINEER PRIOR TO ANY CONSTRUCTION WORKS COMMENCING AND PREPARE AN INSPECTION AND TEST PLAN WITH A MUTUALLY AGREED WITNESS AND HOLD POINTS FOR THE CONSTRUCTION WORKS.
- 5. THE CONSTRUCTOR MUST CONTACT CAMDEN COUNCIL'S WORKS DIVISION TO ENABLE THEIR INSPECTION OF ALL WORKS (INCLUDING EROSION AND SEDIMENT CONTROL MEASURES) WITHIN THE
- 6. ALL NEW WORKS SHALL MAKE A SMOOTH CONNECTION WITH ANY FORMATIONS, STRUCTURES, ETC. ALL ALTERATIONS AND/OR ADDITIONS TO EXISTING WORK, THE CONTRACTOR SHALL VERIFY THE DIMENSIONS OF THE EXISTING WORK BEFORE PROCEEDING AND NOTIFY THE SUPERINTENDENT AND
- OR THE COUNCIL ENGINEER OF DISCREPANCIES. 8. THE PUBLIC FOOTWAY AND ROADWAYS SHALL BE MAINTAINED IN A SAFE AND UNOBSTRUCTED MANNER AT ALL TIMES DURING THE CONSTRUCTION WORKS
- THE CONSTRUCTOR SHALL BE RESPONSIBLE FOR REPAIRING TO THE SATISFACTION OF THE ASSET OWNER, ANY DAMAGE CAUSED TO ANY EXISTING INFRASTRUCTURE WITHIN THE ROAD RESERVE INCLUDING BUT NOT LIMITED TO KERBS, GUTTERS, FOOTPATHS, VEHICULAR CROSSINGS, STREET SIGNS, SERVICE FITTING COVERS, ETC.
- 10. THE SITE SHALL BE KEPT IN A TIDY CONDITION AT ALL TIMES. LITTER RUBBISH AND BUILDING RUBBLE SHALL BE PLACED IN CONTAINERS OR BINS AND REGULARLY REMOVED FROM SITE AS REQUIRED.

NOTES FOR WORKS IN PRIVATE AREA

- 1. ALL WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TECHNICAL SPECIFICATION.
- 2. THE CONSTRUCTOR SHALL PREPARE A DILAPIDATION REPORT FOR THE EXISTING INFRASTRUCTURE WITHIN THE ROAD RESERVE, INCLUDING BUT NOT LIMITED TO KERBS, GUTTERS, FOOTPATHS, VEHICULAR CROSSINGS, STREET SIGNS, SERVICE FITTING COVERS, ETC.
- 3. THE CONSTRUCTOR SHALL REVIEW, BE AWARE AND AT ALL TIMES COMPLY WITH THE SPECIFIC REQUIREMENTS FOR THIS DEVELOPMENT AS SET OUT IN THE DEVELOPMENT APPROVAL FOR THE
- 4. ANY CHANGES MADE BY THE CONSTRUCTOR TO ANY LEVEL, DIMENSION, LOCATION, POSITION, ALIGNMENT ETC., OF ANY OF THE WORKS SHOWN ON THE DRAWINGS WITHOUT THE WRITTEN CONSENT OF C&M CONSULTING ENGINEERS PTY. LTD. AND OR THE PRINCIPAL CERTIFYING AUTHORITY IS DONE SO AT THE CONSTRUCTORS OWN RISK.
- THE CONSTRUCTOR SHALL ALLOW TO LIAISE WITH AND PROVIDE SUFFICIENT NOTICE TO THE PRINCIPAL CERTIFYING AUTHORITY TO ENSURE THAT ALL WORKS ARE INSPECTED TO ENABLE COMPLIANCE CERTIFICATES TO BE ISSUED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONSTRUCTOR SHALL LIAISE WITH THE PRINCIPAL CERTIFYING AUTHORITY PRIOR TO ANY CONSTRUCTION WORKS COMMENCING AND PREPARE AN INSPECTION AND TEST PLAN WITH A MUTUALLY AGREED WITNESS AND HOLD POINTS FOR THE CONSTRUCTION WORKS.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL ACCESS TO THE SITE. THE ACCESS SHALL BE ALL WEATHER SAFE ACCESS TO THE CONTRACTOR'S SITE FACILITIES AT ALL TIMES FOR THE DURATION OF THE CONTRACT.
- 7. A TEMPORARY HOARDING OR FENCE OF MINIMUM 1.5m HIGH IS TO BE PROVIDED AROUND THE SITE TO PROTECT THE PUBLIC PRIOR TO COMMENCEMENT OF WORKS. HOARDINGS OR FENCES ARE TO BE STRUCTURALLY ADEQUATE. THE CONTRACTOR SHALL OBTAIN AN APPROVAL FROM COUNCIL PRIOR TO ERECTING THE HOARDING OR FENCE.
- 8. ALL NEW WORKS SHALL MAKE A SMOOTH CONNECTION WITH ANY FORMATIONS, STRUCTURES, ETC.
- 9. ALL ALTERATIONS AND/OR ADDITIONS TO EXISTING WORK, THE CONTRACTOR SHALL VERIFY THE DIMENSIONS OF THE EXISTING WORK BEFORE PROCEEDING AND NOTIFY THE SUPERINTENDENT OF DISCREPANCIES.
- 10. THE CONTRACTOR SHALL USE MANUFACTURED ITEMS IN THE WORK ONLY IN ACCORDANCE WITH THE CURRENT PUBLISHED
- RECOMMENDATIONS OF THE MANUFACTURER RELEVANT TO SUCH USE.

UNOBSTRUCTED MANNER AT ALL TIMES DURING THE CONSTRUCTION WORKS.

- 11. THE WORKS SHALL BE CONSTRUCTED IN SUCH A MANNER THAT THERE IS MINIMUM DISTURBANCE
- TO EXISTING TREES AND VEGETATION. 12. THE PUBLIC FOOTWAY AND ROADWAY FRONTING THE SITE SHALL BE MAINTAINED IN A SAFE AND
- 13. THE CONSTRUCTOR SHALL BE RESPONSIBLE FOR REPAIRING TO THE SATISFACTION OF THE ASSET OWNER, ANY DAMAGE CAUSED TO ANY EXISTING INFRASTRUCTURE WITHIN THE ROAD RESERVE. INCLUDING BUT NOT LIMITED TO KERBS, GUTTERS, FOOTPATHS, VEHICULAR CROSSINGS, STREET SIGNS, SERVICE FITTING COVERS, ETC.
- 14. THE SITE SHALL BE KEPT IN A TIDY CONDITION AT ALL TIMES. LITTER RUBBISH AND BUILDING RUBBLE SHALL BE PLACED IN CONTAINERS OR BINS AND REGULARLY REMOVED FROM SITE AS REQUIRED.

EARTHWORKS NOTES:

- 1. ALL EARTHWORKS OPERATIONS SHALL BE CARRIED OUT TO LEVEL 1 SUPERVISION IN ACCORDANCE WITH AS3798 - 2007. THE CONTRACTOR SHALL ISSUE A WRITTEN LETTER FROM THE GEOTECHNICAL CONSULTANT THAT THEY HAVE BEEN ENGAGED ACCORDINGLY AND TAKES FULL RESPONSIBILITY OF THE EARTHWORKS OPERATION.
- 2. THE CONTRACTOR SHALL OVER-EXCAVATE TO REMOVE ALL UNACCEPTABLE FILL MATERIAL CONTAINING DELETERIOUS MATERIALS SUCH AS ORGANIC MATTER AND CONSTRUCTION MATERIALS. ALL OVER-EXCAVATED AREAS SHALL BE REPLACED WITH SUITABLE MATERIAL WITH A CBR AT LEAST EQUAL TO THE SPECIFIED SUBGRADE CBR, SOURCED FROM ON SITE, IF AVAILABLE, OR IMPORTED.
- 3. WET MATERIAL WILL NOT BE REGARDED AS UNSUITABLE. SHOULD WET MATERIAL BE ENCOUNTERED. THE CONTRACTOR SHALL DRY THE MATERIAL SUFFICIENTLY BY RE-WORKING, OR SPREADING IT TO ALLOW DRYING. ALL ASSOCIATED COSTS SHALL BE BORNE BY THE CONTRACTOR.
- 4. ALL EXCESS EARTHWORKS MATERIALS, INCLUDING EXCESS MATERIALS FROM THE STORMWATER AND SERVICE TRENCH EXCAVATIONS SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR AT THE CONTRACTOR'S COST
- 5. THE CONTRACTOR SHALL EXCAVATE AND/OR PLACE AND COMPACT FILL TO CONFORM TO THE LINES, GRADES, CROSS SECTIONS, AND DIMENSIONS SHOWN ON THE DRAWINGS, ALLOWING FOR PAVEMENT/SLAB AND TOPSOIL LAYERS.
- 6. FREQUENCIES OF COMPACTION TESTS FOR EARTHWORKS SHALL BE AS FOLLOWS (WHICHEVER IS GREATER NUMBER):
- a. 1 TEST PER LAYER PER 500 m², OR
- b. 1 TEST PER 100 m³. OR
- c. 3 TESTS PER VISIT
- 7. COMPACTION REQUIREMENTS FOR EARTHWORKS SHALL BE AS FOLLOWS:
- GENERAL FILL: 95% OF SMDD
- TOP 500MM UNDER PAVEMENT OR STRUCTURE: 100% OF SMDD
- BACKFILL WITHIN 2M OF STRUCTURES: 100% OF SMDD
- 13. MOISTURE CONTENT TO BE IN THE RANGE OF 2% TO +2% OF THE OPTIMUM MOISTURE CONTENT. ALL COMPACTION TEST RESULTS SHALL BE PROVIDED TO THE SUPERINTENDENT.

PAVEMENT NOTES:

- 1. REFER TO CONCRETE NOTES FOR CONCRETE PAVEMENTS
- SUBBASE MATERIAL UNDER CONCRETE SLAB SHALL BE UNBOUND DGS20 MATERIAL COMPLYING WITH TFNSW 3051.
- SELECT MATERIAL, IF SPECIFIED, SHALL BE CRUSHED ROCK, NATURAL GRAVELS OR SUITABLE SOILS, AND THE MATERIALS SHALL BE FREE OF ORGANIC MATTER AND OTHER OBJECTIONABLE OR DELETERIOUS SUBSTANCES. THE MATERIALS SHALL HAVE A MAXIMUM PARTICLE SIZE OF 75MM, AND SHALL HAVE A MINIMUM CBR OF 15% AT 100% STANDARD MAXIMUM DRY DENSITY.
- 4. FREQUENCIES OF COMPACTION TESTS FOR PAVEMENT CONSTRUCTION SHALL BE 1 TEST PER 400m² PER LAYER.
- 5. COMPACTION REQUIREMENTS FOR PAVEMENT CONSTRUCTION SHALL BE 98% OF MMDD TO AS 1289 E2.1.

CONCRETE NOTES:

- 1. ALL WORKMANSHIP, MATERIALS AND TESTING FOR CONCRETE WORKS SHALL COMPLY WITH THE REQUIREMENTS OF AS3600.
- 2. ALL WORKMANSHIP AND MATERIALS FOR FORMWORK SHALL COMPLY WITH THE REQUIREMENTS OF AS3610.
- 3. THE CONSTRUCTOR SHALL ENSURE THAT ALL REINFORCEMENT IS SECURELY TIED AND SUPPORTED IN IT'S CORRECT POSITION AND WITHIN ACCEPTABLE TOLERANCES SO AS NOT TO BE DISPLACED DURING CONCRETE POURING.
- 4. PROVIDE CONCRETE WITH A MAXIMUM SLUMP OF 80, TYPE SL CEMENT, MAXIMUM AGGREGATE SIZE 20. APPROVED ADMIXTURES AND STRENGTH GRADE AS FOLLOWS:

ELEMENT	EXPOSURE CLASSIFICATION	STRENGTH (MPA)
PAVEMENT	A2	32MPA
KERB (ALL TYPES)	A2	25MPA
FOOTPATH	A2	25MPA
RETAINING WALL FOOTING	A1/B1	20MPA

PROJECT CONTROL TESTING SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 3600. 5. PROVIDE LAPS ONLY AT LOCATIONS SHOWN AND OF DIMENSIONS AS FOLLOWS UNLESS DETAILED OTHERWISE OR APPROVED IN WRITING BY THE ENGINEER

BAR SIZE N12 N16 N20 500 750 1000

- 6. OVERLAP FIRST AND SECOND CROSS WIRES OF EACH SHEET OF FABRIC BY 25 AT LAPS.
- 7. DO NOT WELD REINFORCEMENT UNLESS SHOWN OR APPROVED BY THE ENGINEER
- 8. TIE ALL UNSUPPORTED BARS TO N12.350.B OR N12.450.T CROSSRODS, LAPPED 450 WHERE
- 9. PROP, CURE AND STRIP IN ACCORDANCE WITH AS3600, AS3610 AND THE SPECIFICATION.
- 10. CONCRETE SAWN JOINTS MUST BE DONE WITHIN 8 HOURS OF CONCRETE POUR.

CLIENT

- 11. JOINT SEALANT MUST BE SILICONE SEALANT FOR CASTING IN-SITU AS SPECIFIED ON DRAWINGS.
- 12. CONCRETE FINISH SHALL BE AS FOLLOWS:

ELEMENT	EXPOSURE
ROAD (GRADE < 1 IN 10)	BROOM
ROAD (GRADE > 1 IN 10)	GROOVE
FOOTPATH	BROOM

STORMWATER NOTES:

- 1. STORMWATER DESIGN CRITERIA
- MINOR STORM ARI: 20 YEARS MAJOR STORM ARI: 100 YEARS
- IFD DATA LOCALITY: CAMDEN
- 2. PIPES DN375 AND LARGER TO BE STEEL REINFORCED CONCRETE PIPES CLASS '2' APPROVED SPIGOT AND SOCKET WITH RUBBER RING JOINTS U.N.O.
- 3. PIPES DN300 AND SMALLER SHALL BE GRADE SH (SEWER GRADE) uPVC WITH RUBBER RING JOINTS.
- 4. PIPES FOR SUB-SOIL DRAINS SHALL BE SLOTTED 100MM DIAMETER CLASS 1000 WRAPPED IN GEOFABRIC, U.O.N. COMPLYING WITH THE REQUIREMENTS OF AS 2439.
- 5. PRECAST PITS, WHERE ALLOWED, AND THE INSITU BASE SHALL COMPLY WITH THE REQUIREMENT OF THE MANUFACTURER.
- 6. PROVIDE STEP IRONS FOR PITS DEEPER THAN 1.2m.
- 7. COMPRESSIVE STRENGTH FOR CAST IN-SITU PITS SHALL BE 25MPa UNLESS NOTED OTHERWISE.
- 8. ALL PITS SHALL BE BENCHED AND FLOW STREAMLINED.
- 9. ALL PIT GRATES IN TRAFFICABLE AREAS SHALL BE CLASS 'D'
- 10.ALL MILD STEEL FIXTURES INCLUDING GRATES, FRAMES, STEP IRONS, LADDERS, ETC., SHALL BE HOT DIP GALVANISED. GALVANISING SHALL COMPLY WITH THE REQUIREMENTS OF AS 1214 OR AS 1650, AS APPROPRIATE.
- 11. MINIMUM PIT INTERNAL DIMENSIONS SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:

DEPTH TO INVERT TO OUTLET (mm)	MIN INTERNAL DIMENSION (mm)	MAX PIPE SIZE (mm)
<u><</u> 600	450 x 450	225
>600 <u>≤</u> 900	600 x 600	300
>900 < 1200	900 x 600	600 ON 900 SIDE
>1200	900 x 900	600

PIT SIZE MUST MEET BOTH DEPTH TO INVERT AND PIPE SIZES. FOR PIPE DIAMETER >600mm REFER TO DRAWINGS FOR SIZES.

- 12.GEOFABRIC FILTER SHALL BE PERMEABLE, NON-WOVEN FABRIC MANUFACTURED FROM A POLYMER SUCH AS POLYPROPYLENE OR POLYESTER OF MASS NOT LESS THAN 135G/M2.
- 13. THE MINIMUM TRENCH WIDTHS SHALL BE AS FOLLOWS:
- CONCRETE AND FRC PIPES: EXTERNAL PIPE DIAMETER PLUS 400MM. uPVC PIPE: EXTERNAL DIAMETER OF PIPE PLUS 200MM.
- SUBSOIL PIPE: 250MM.
- 14.ALL PIPES SHALL BE PLACED CENTRALLY WITHIN THE TRENCH WITH EQUAL CLEARANCE EACH SIDE.
- 15.100mm DIA. SUBSOIL DRAINAGE PIPE 3m LONG WRAPPED IN FILTER SOCK TO BE PROVIDED IN PIPE TRENCHES UPSTREAM OF ALL PITS.
- 16.PIPE BEDDING MATERIAL SHALL BE CLEAN COARSE RIVER SAND WITH DEPTH AS FOLLOWS:

CONCRETE AND FRC PIPES: 100MM (175MM IN ROCK) UPVC PIPE: 75MM (100MM IN ROCK)

SUBSOIL DRAINS: 50MM 17.ALL PIPES SHALL BE BACKFILLED WITH GRANULAR MATERIAL SUCH AS

- QUARRY FINES OR COARSE RIVER SAND TO A MINIMUM OF 150MM ABOVE THE PIPE. THE GRANULAR MATERIAL SHALL BE PLACED IN 150MM THICK MAXIMUM LAYERS AND COMPACTED TO ACHIEVE A DENSITY INDEX (ID) OF 70%. FREQUENCIES OF COMPACTION TESTS FOR TRENCHES SHALL BE 1 TEST PER 2 LAYERS PER 40 LINEAR METRE.
- 18.BACKFILL THE REMAINDER OF THE TRENCH ABOVE THE SAND TO SUBGRADE LEVEL WITH TRENCH MATERIAL. PLACE AND COMPACT MATERIALS IN LAYERS NOT EXCEEDING 150MM LOOSE THICKNESS. MATERIAL LOWER THAN 500MM BELOW SUBGRADE LEVEL SHALL BE COMPACTED TO AT LEAST 95% OF STANDARD MAXIMUM DRY DENSITY. THE TOP 500MM BELOW PAVEMENT SUBGRADE LEVELS SHALL BE COMPACTED TO AT LEAST 100% STANDARD MAXIMUM DRY DENSITY.
- 19. SUBSOIL DRAINAGE SHALL BE PROVIDED ALONG THE CUT SIDE OF ALL NEW ROADS WHERE NO DRAINAGE IS PROVIDED, ALONG THE CENTRE LINE OF HALF ROAD CONSTRUCTION WORKS, AT LOW SPOTS, WHERE REQUIRED BY THE PAVEMENT DESIGN REPORT, AND WHERE DIRECTED BY COUNCIL'S ENGINEER.
- 20. FILTER MATERIAL FOR SUBSOIL SHALL BE COARSE SAND OR CRUSHED

STONE COMPLYING WITH ONE OF THE GRADINGS IN THE TABLE BELOW. WHERE NOTED ON THE DRAWINGS THE 7MM CRUSHED ROCK FILTER MATERIAL SHALL BE ENCLOSED WITHIN FILTER FABRIC SHEET AS SPECIFIED. FILTER MATERIAL SHALL BE PLACED IN 250MM LAYERS AND COMPACTED TO DENSITY INDEX (ID) OF 60%.

AS SIEVE		
SIZE (mm)	SAND	7mm ROCK
9.5	100	100
6.7	-	75–100
4.75	90-100	20-55
2.36	75-100	0-15
1.18	50-90	
0.6	20-60	
0.3	10-30	
0.15	2-10	
0.075	0-3	0-2

- 21. UNLESS OTHERWISE DETAILED OR PERMITTED, THE MINIMUM GRADE OF ALL PIPE WORKS SHALL BE 1.0%.
- 22. PRIOR TO ISSUE OF PRACTICAL COMPLETION THE CONTRACTOR SHALL CARRY OUT CCTV SURVEY OF ALL PIPES AND SUBMIT DVD AND WRITTEN REPORT THAT ALL PIPES ARE FREE OF DEFECTS LAID TO THE SPECIFICATION.

ENVIRONMENTAL CONTROL NOTES:

EROSION AND SEDIMENTATION CONTROL

- 1. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONTROL OF EROSION AND SEDIMENTATION TO THE SATISFACTION OF COUNCIL, THE RELEVANT STATE AUTHORITIES AND THE SUPERINTENDENT. TO THIS END, THE EROSION AND SEDIMENTATION CONTROLS SHOWN ON THE DRAWINGS SHALL ONLY BE USED AS A GUIDE BY THE CONTRACTOR, AND SHALL REPRESENT THE MINIMUM REQUIREMENT ONLY.
- 2. NO CONSTRUCTION WORKS ARE TO COMMENCE ON SITE UNTIL ALL EROSION AND SEDIMENT CONTROL MEASURES ARE IN PLACE AND HAVE BEEN INSPECTED AND REQUIRED TO ENSURE THE MEASURES CORRECT AND EFFICIENT FUNCTION THROUGHOUT THE DURATION OF THE WORKS, UNTIL SUCH TIME AS THE COUNCIL ENGINEER AND/ORSUPERINTENDENT AUTHORISES THE REMOVAL OF SUCH MEASURES.
- 3. ALL STOCKPILES SHALL BE CLEAR OF ALL TREES AND DRAINAGE LINES (INCLUDING OVERLAND FLOW PATHS) AND PROTECTED FROM EROSION.
- 4. IN THE CASE OF THE TEMPORARY CONSTRUCTION EXIT, THE CONTRACTOR SHALL UNDERTAKE WEEKLY SURFACE CLEANING BY DRAG BROOM OR EQUIVALENT, TO UNDERTAKE WEEKLY SURFACE CLEANING BY DRAG BROOM OR EQUIVALENT, TO REMOVE ALL BUILD UP OF FOREIGN MATERIAL TO THE SATISFACTION OF THE SUPERINTENDENT.
- 5. SEDIMENT AND EROSION CONTROL SHALL BE IMPLEMENTED PRIOR TO AND MAINTAINED DURING AND AFTER THE CONSTRUCTION WORKS.
- 6. ALL AREAS LEFT UNDISTURBED TO BE FENCED OFF FROM CONSTRUCTION WORKS.
- 7. ALL DISTURBED AREAS AND STOCKPILES TO BE STABILISED WITHIN 14 DAYS.
- 8. NO DISTURBANCE OF SITE PERMITTED OTHER THAN IMMEDIATE AREAS OF THE WORKS.

TRAFFIC CONTROL

- 1. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONTROL OF TRAFFICS INCLUDING VEHICLES AND PEDESTRIANS TO THE SATISFACTION OF
- COUNCIL, THE RELEVANT STATE AUTHORITIES AND THE SUPERINTENDENT. 2. THE CONTRACTOR IS TO PREPARE A TRAFFIC MANAGEMENT PLAN TO THE REQUIREMENTS OF THE TINSW - TRAFFIC CONTROL AT WORK SITE. AS 1742 -AUSTRALIAN STANDARD MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AND TO COUNCIL STANDARDS.
- 3. THE TRAFFIC CONTROL PLAN TO BE SUBMITTED TO COUNCIL FOR APPROVAL PRIOR TO WORKS COMMENCING.
- 4. TRAFFIC CONTROLS TO COMPLY WITH AS 1742.3-2002
- 5. AS PART OF THE TRAFFIC CONTROL PLAN ENSURE THAT PEDESTRIANS ARE CATERED FOR.
- 6. AFTER-HOURS TRAFFIC CONTROL THROUGH THE WORKSITE HAVE TO BE CATERED

ENVIRONMENTAL CONTROLS

1. OTHER ENVIRONMENTAL CONTROLS LIKE NOISE, DUST, VIBRATION, FIRE, HAZMAT, AND CONTAMINATIONS MUST BE CONTROLLED TO THE REQUIREMENT OF THE COUNCIL AND THE RELEVANT STATE AUTHORITIES.

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	02	T.T.	06/05/22	E.S.	ISSUE FOR DA APPLICATION	
	01	T.T.	27/04/22	E.S.	ISSUE FOR DA APPLICATION	
	REV.	DRN.	DATE	CHK.	DESCRIPTION	

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CIVIL AND HYDRAULIC ENGINEERING DESIGN AND PROJECT MANAGEMENT

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DRAWN T.T. DESIGNER E.S. ENGINEER SCALE @ A1 E.S. NTS

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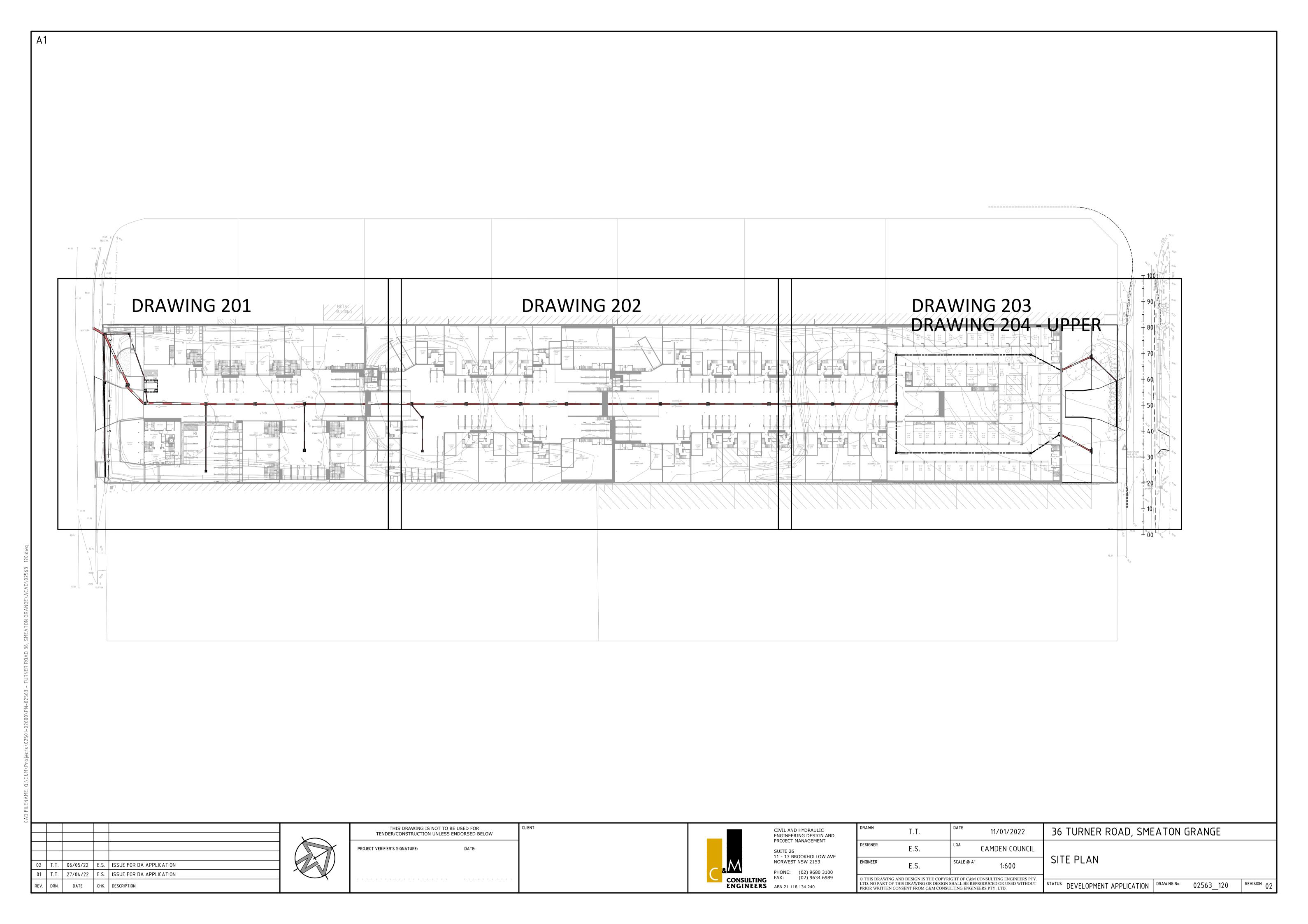
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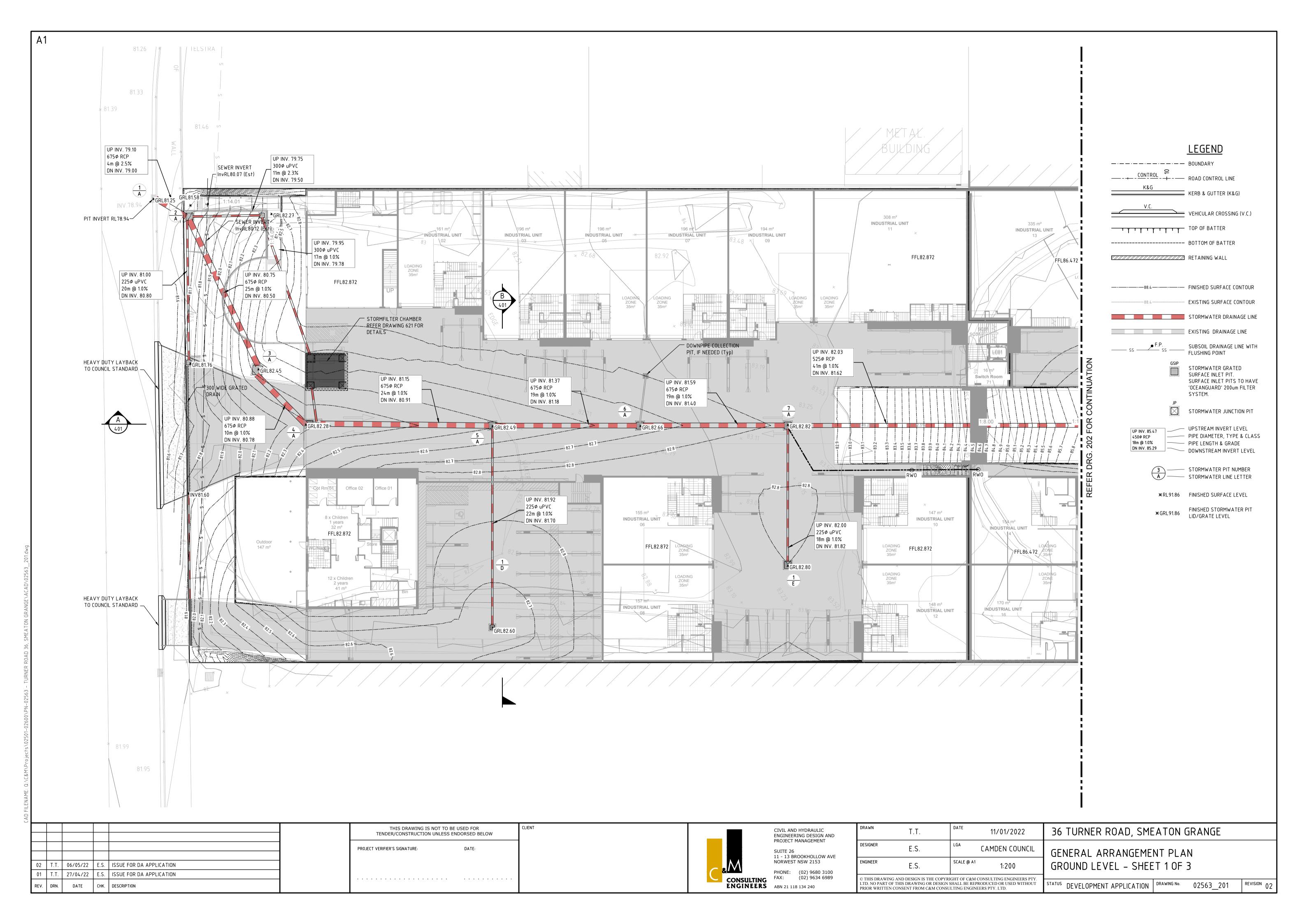
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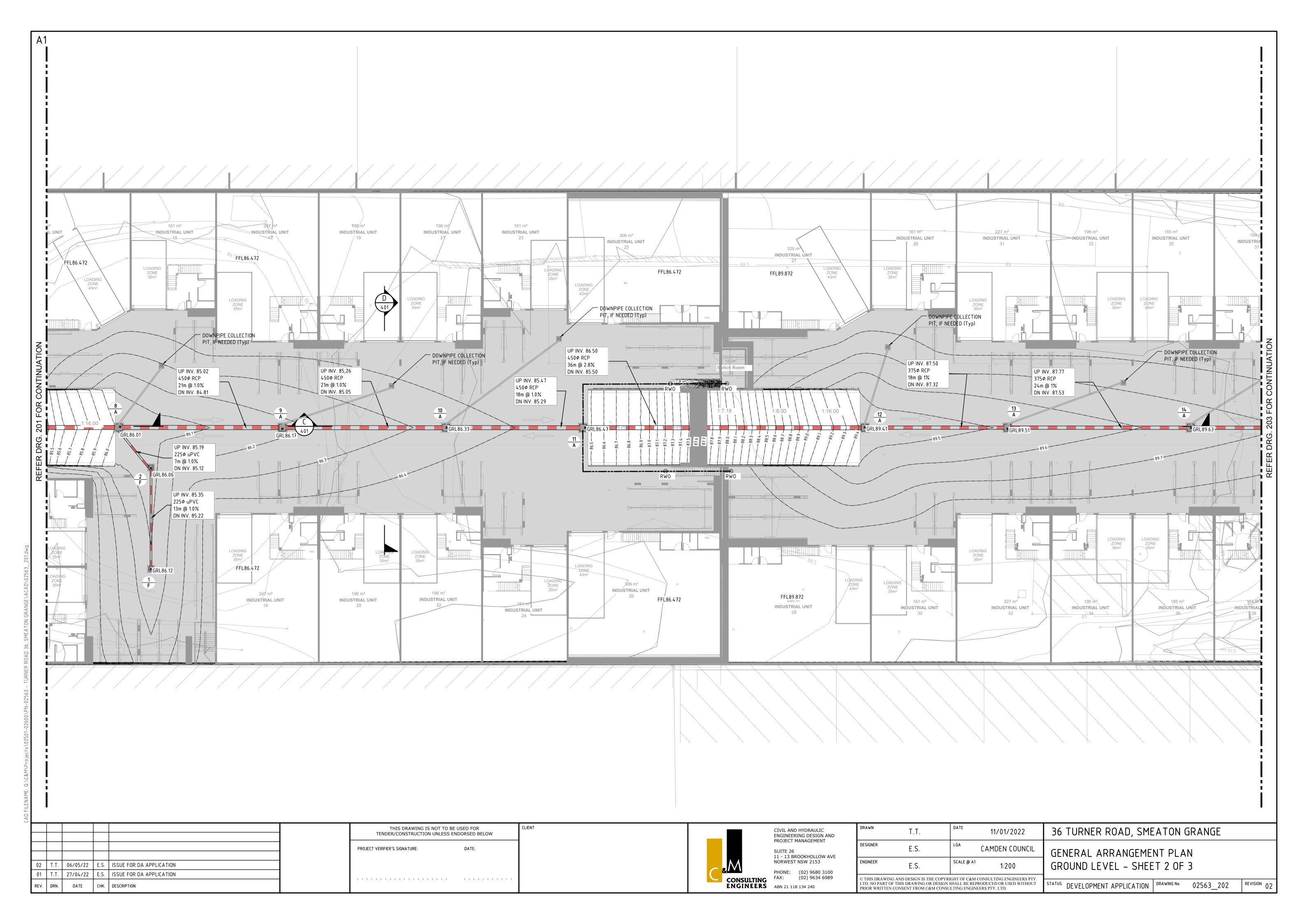
36 TURNER ROAD, SMEATON GRANGE 11/01/2022 CAMDEN COUNCIL GENERAL NOTES

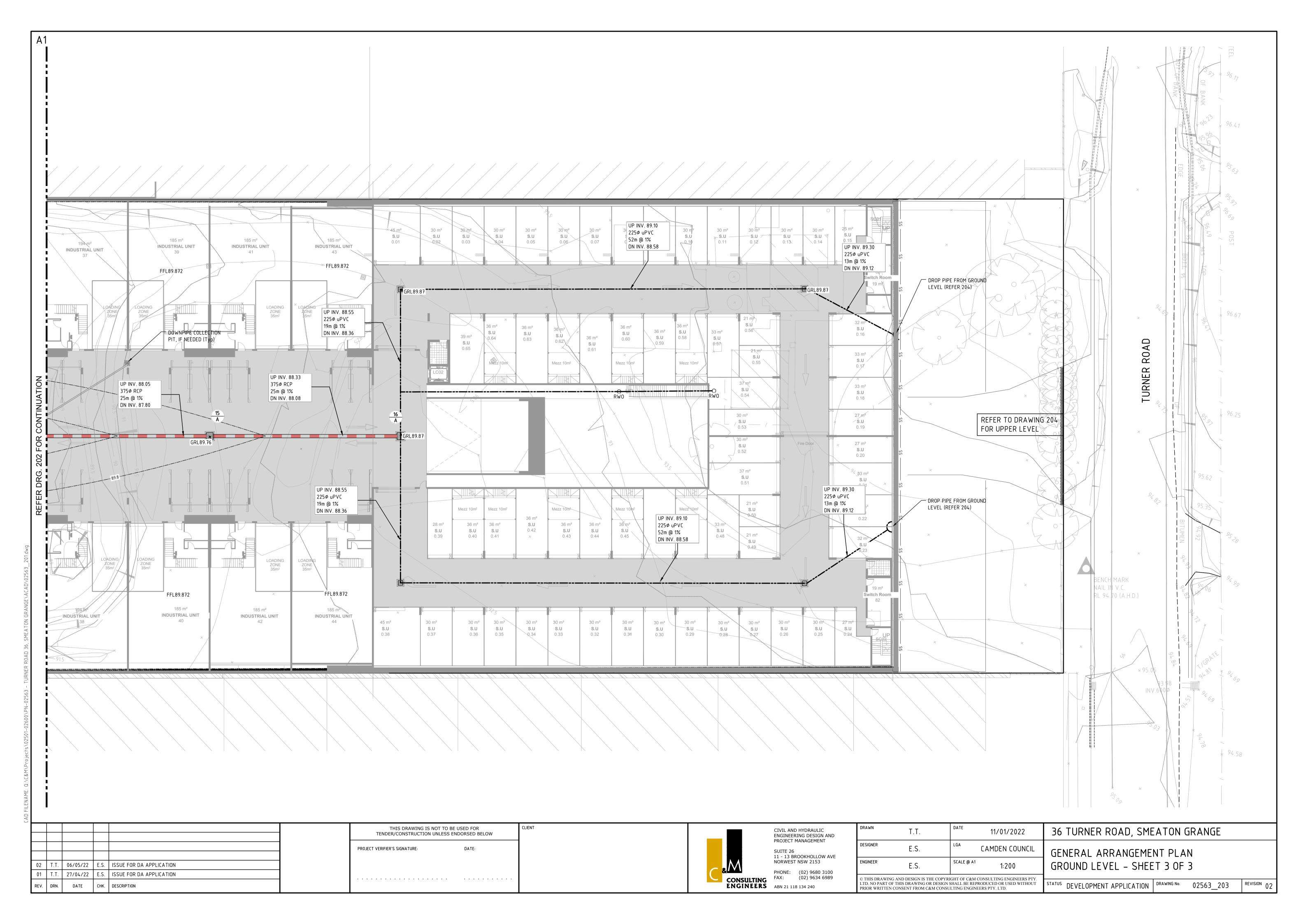
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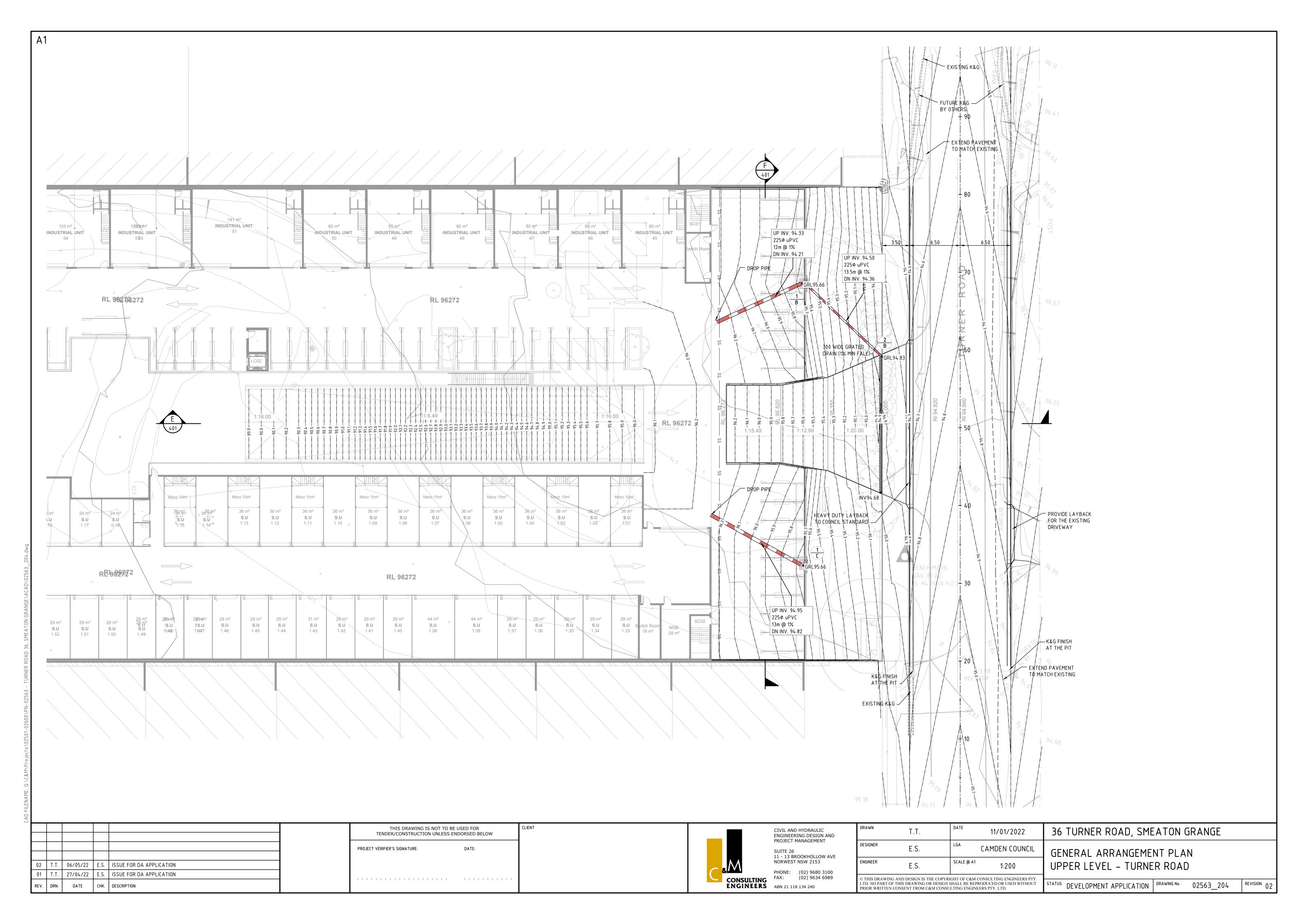
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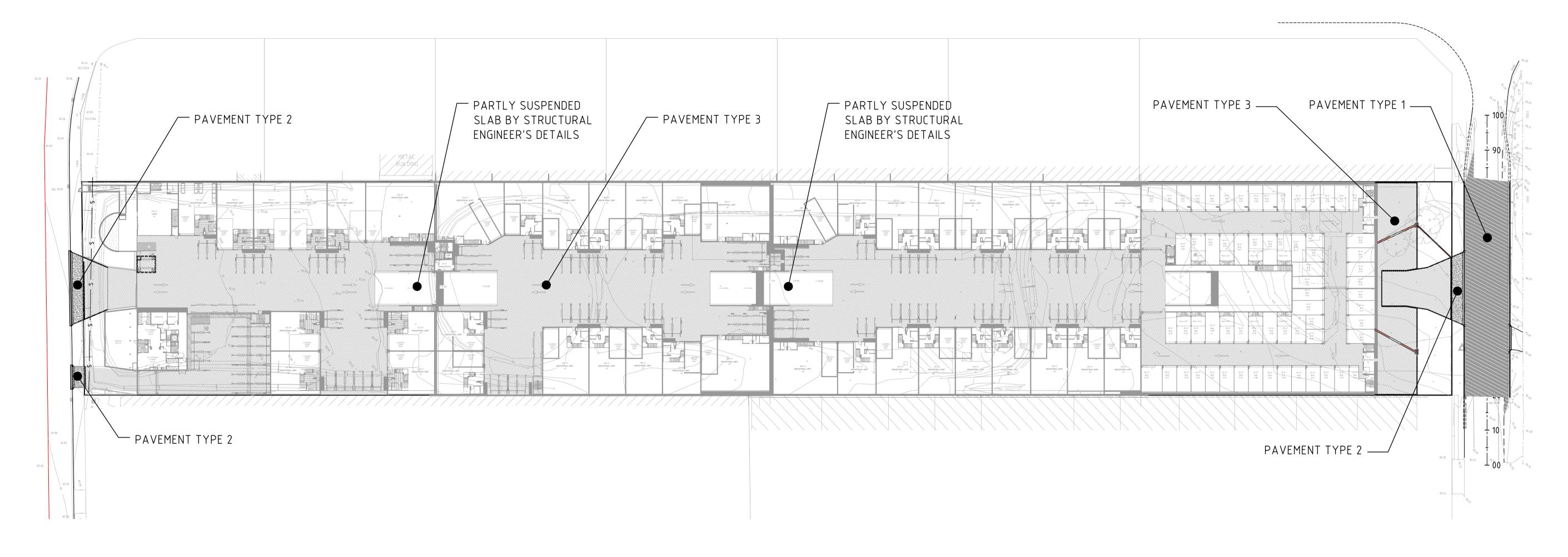










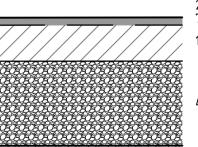


LEGEND



PAVEMENT TYPE 1

TURNER ROAD TRAFFIC LOADING - E.S.A. 5x10 6



2×25mm AC10 ON 7mm PRIMER SEAL ON 150mm BASE COURSE ON

400mm SUBBASE COURSE ON

3% SUBGRADE CBR ASSUMED (TO BE CONFIRMED BY TESTING)



PAVEMENT TYPE 2

FOOTPATH CROSSING



PAVEMENT TYPE 3

COMPACTED SUBGRADE

MESH TOP & BOTTOM 50 COVER 50mm SAND BEDDING

200mm N32 CONCRETE WITH SL82

COMPACTED SUBGRADE

180mm N32 CONCRETE WITH SL82 MESH TOP & BOTTOM 100mm SUBBASE (DGS20)

NOTE: PAVEMENT DESIGN SUBJECT TO FINAL SUBGRADE CBR TESTS OBTAINED BY GEOTECHNICAL INVESTIGATION UPON COMPLETION OF EARTHWORKS.

02	T.T.	06/05/22	E.S.	ISSUE FOR DA APPLICATION
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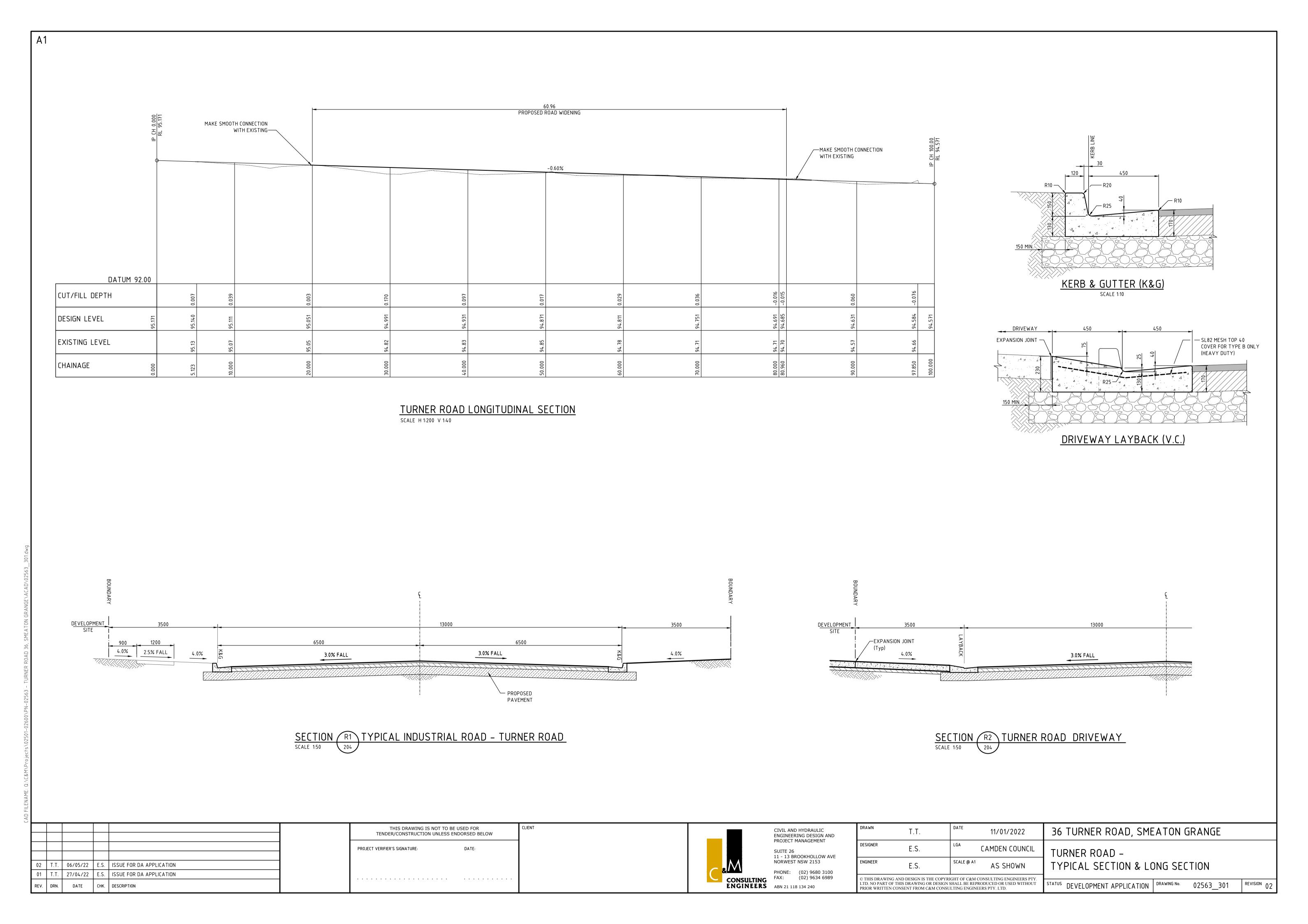
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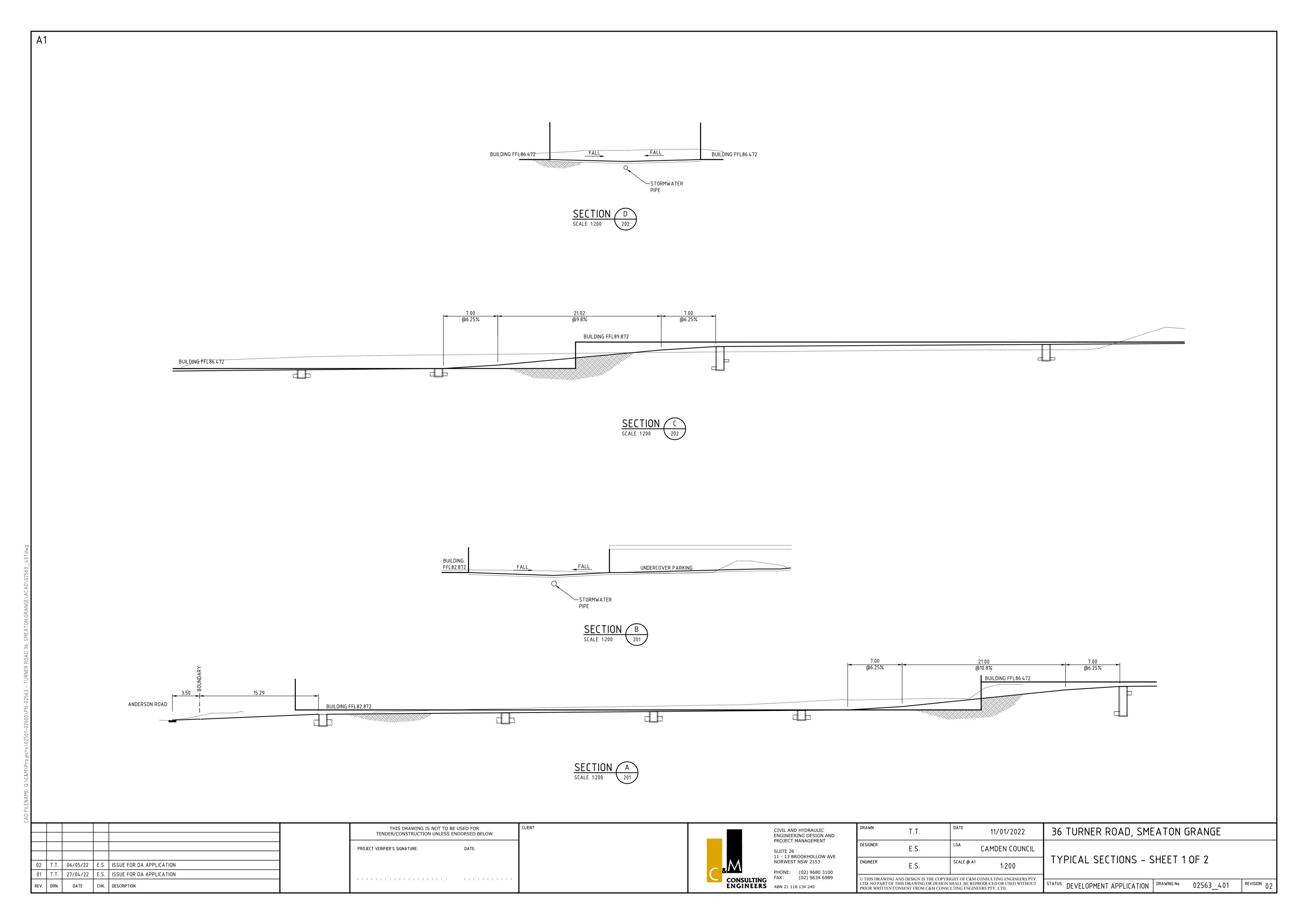
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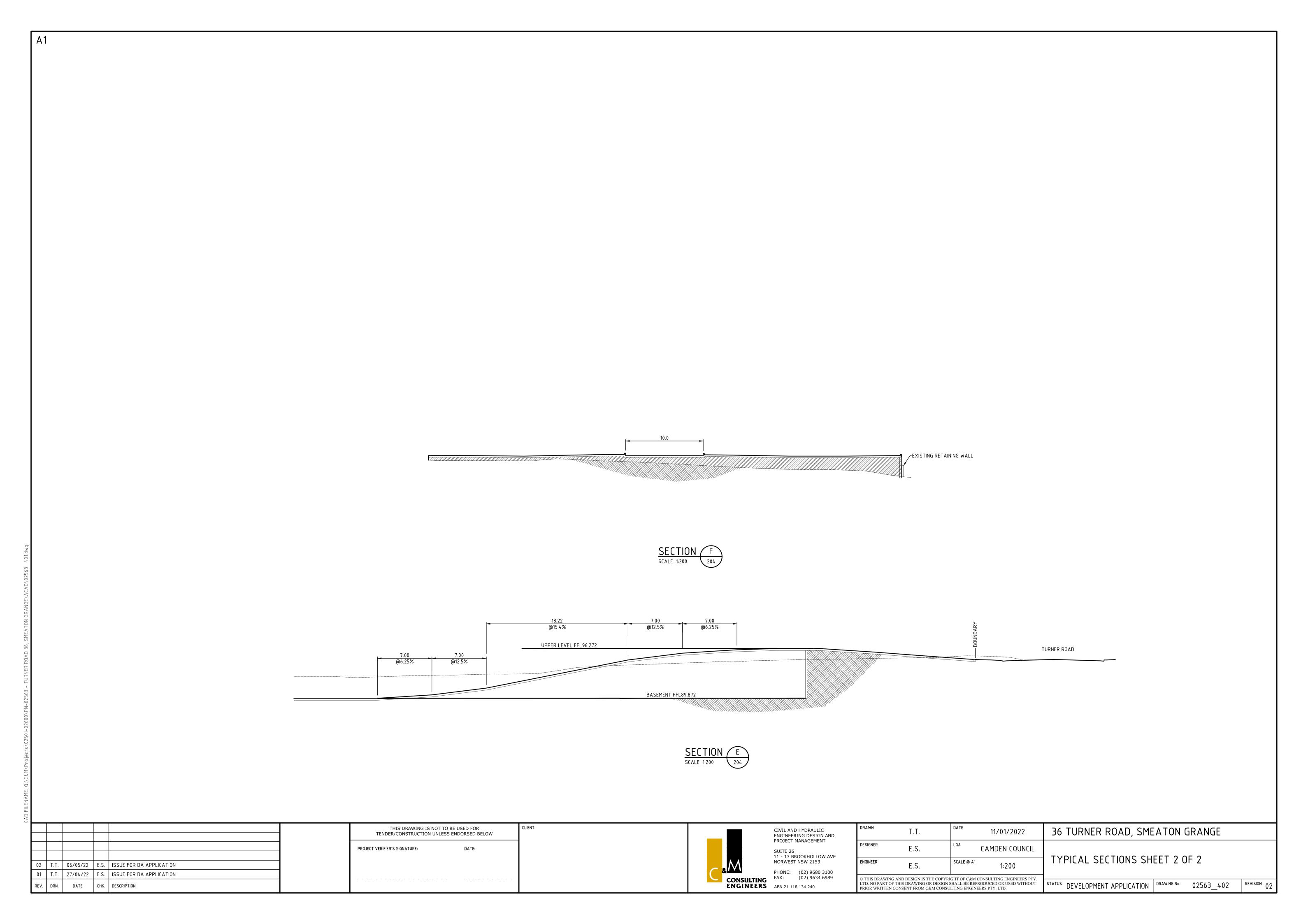
DRAWN	T.T.	DATE	11/01/2022				
DESIGNER	E.S.	. LGA CAMDEN C					
ENGINEER	E.S.	SCALE @ A1	1:600				
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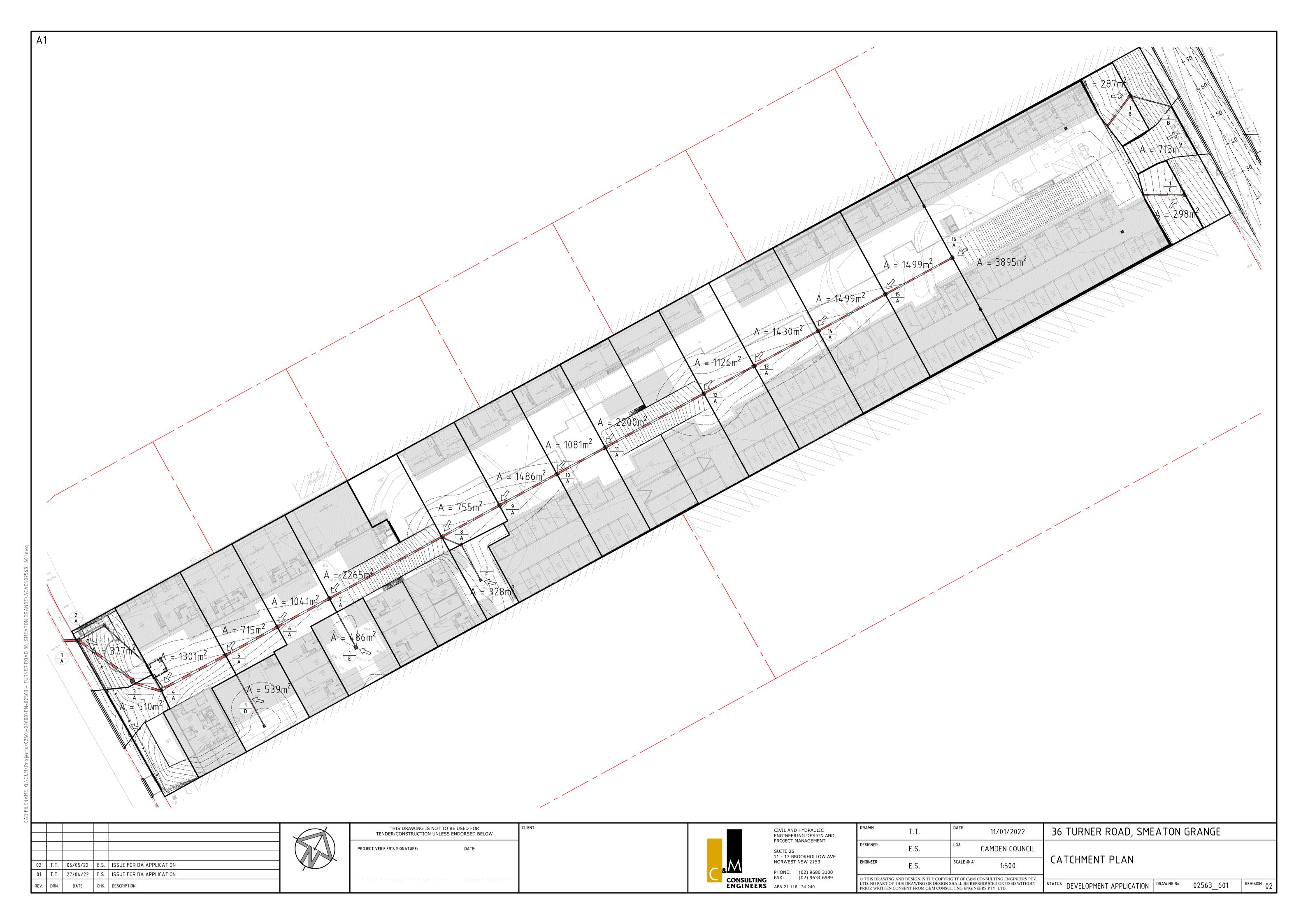
36 TURNER ROAD, SMEATON GRANGE PAVEMENT PLAN & DETAILS

STATUS DEVELOPMENT APPLICATION DRAWING No. 02563_221









HYDROLOGY (ARI 20 YEARS)

PIT No	Tc (min)	ARI	INTENSITY (mm/h)	FRACTION OF IMP	RUNOFF COEFF, C	CATCHMENT AREA (Ha)	FLOWRATE, Q (L/S)	PIT CAPACITY (L/S)	UPSTREAM FLOWRATE (L/S)	ACCUMULATED FLOWRATE (L/S)
2/B	5	20	172	0.4	0.62	0.0713	21.1	50	0	21
1/B	5	20	172	1	0.95	0.0287	13.0	50	21	34
16/A	5	20	172	1	0.95	0.3895	176.8	50	34	224
15/A	5	20	172	1	0.95	0.1499	68.0	50	224	293
14/A	5	20	172	1	0.95	0.1499	68.0	50	293	361
13/A	5	20	172	1	0.95	0.143	64.9	50	361	425
12/A	5	20	172	1	0.95	0.1126	51.1	50	425	477
11/A	5	20	172	1	0.95	0.22	99.9	50	477	576
10/A	5	20	172	1	0.95	0.1081	49.1	50	576	625
9/A	5	20	172	1	0.95	0.1486	67.4	50	625	693
8/A	5	20	172	1	0.95	0.0755	34.3	50	693	727
7/A	5	20	172	1	0.95	0.2265	102.8	50	727	830
6/A	5	20	172	1	0.95	0.1041	47.2	50	830	877
5/A	5	20	172	1	0.95	0.0715	32.5	50	877	910
4/A	5	20	172	1	0.95	0.1301	59.1	50	910	969
3/A	5	20	172	1	0.95		0.0	50	969	969
2/A	5	20	172	0.9	0.89	0.0377	16.0	50	969	985
1/C	5	20	172	1	0.95	0.0298	13.5	50	0	14
1/D	5	20	172	1	0.95	0.0539	24.5	50	0	24
1/E	5	20	172	1	0.95	0.0486	22.1	50	0	22
1/F	5	20	172	1	0.95	0.0328	14.9	50	0	15
2/F	5	20	172	1	0.95		0.0	50	15	15

HYDRAULIC (ARI 20 YEARS)

PI	PIPE		FLOWRATE PIPE DETAILS			PIT LOSS,	IT LOSS, UPSTREAM PIT DETAILS			D/S Inv	D/S HGL		Р	IPE		U/S HGL PIT LOSS		MSE (ms) FI	FREEBOAR	
U/S PIT	D/S PIT	Q (L/S)	L (m)	D (mm)	S (%)	k (mm)	Ku	Inv RL	Ground RL	Pit Depth	RL	(m)	Туре	A (M ²)	Vel (m/s)	F.Loss (m)	(m)	(m)	WSE (m)	D (m)
2/B	1/B	21	13.5	225	1.0	0.06	1	94.5	94.83	0.33	94.36	89.10	uPVC	0.040	0.53	0.015	89.116	0.014	89.130	5.700
1/B	16/A	34	12	225	1.0	0.06	1	94.33	95.66	1.33	94.21	89.03	uPVC	0.040	0.86	0.033	89.063	0.037	89.101	6.559
16/A	15/A	224	25	375	1.0	0.3	1.5	88.33	89.87	1.54	88.08	88.53	uPVC	0.110	2.03	0.186	88.718	0.313	89.031	0.839
15/A	14/A	293	25	375	1.0	0.3	0.3	88.05	89.77	1.72	87.8	88.12	uPVC	0.110	2.65	0.303	88.426	0.106	88.532	1.238
14/A	13/A	361	24	375	1.0	0.3	0.3	87.77	89.63	1.86	87.53	87.31	RCP	0.110	3.27	0.648	87.961	0.161	88.123	1.507
13/A	12/A	425	18	375	1.0	0.3	0.3	87.5	89.51	2.01	87.32	86.43	RCP	0.110	3.85	0.661	87.088	0.225	87.313	2.197
12/A	11/A	477	36	450	2.8	0.3	0.3	86.5	89.41	2.91	85.5	85.62	RCP	0.159	3.00	0.671	86.292	0.136	86.428	2.982
11/A	10/A	576	18	450	1.0	0.3	0.3	85.47	86.47	1	85.29	84.94	RCP	0.159	3.63	0.477	85.422	0.199	85.621	0.849
10/A	9/A	625	21	450	1.0	0.3	0.3	85.26	86.33	1.07	85.05	84.06	RCP	0.159	3.93	0.647	84.710	0.234	84.945	1.385
9/A	8/A	693	21	525	1.0	0.3	0.3	85.02	86.17	1.15	84.81	83.54	RCP	0.216	3.20	0.369	83.908	0.155	84.063	2.107
8/A	7/A	727	41	525	1.0	0.3	0.3	82.03	86.01	3.98	81.62	82.58	RCP	0.216	3.36	0.789	83.367	0.171	83.538	2.472
7/A	6/A	830	19	675	1.0	0.3	0.3	81.59	82.82	1.23	81.4	82.36	RCP	0.358	2.32	0.137	82.497	0.082	82.579	0.241
6/A	5/A	877	19	675	1.0	0.3	0.3	81.37	82.66	1.29	81.18	82.12	RCP	0.358	2.45	0.152	82.269	0.091	82.360	0.300
5/A	4/A	910	24	675	1.0	0.3	0.3	81.15	82.49	1.34	80.91	81.81	RCP	0.358	2.54	0.206	82.019	0.098	82.117	0.373
4/A	3/A	969	10	675	1.0	0.3	0.3	80.88	82.28	1.40	80.78	81.61	RCP	0.358	2.71	0.096	81.702	0.111	81.813	0.467
3/A	2/A	969	25	675	1.0	0.3	0.3	80.75	82.33	1.58	80.5	81.25	RCP	0.358	2.71	0.241	81.495	0.111	81.606	0.724
2/A	1/A	985	4	675	2.5	0.3	0.3	79.1	. 81.64	2.54	79	81.10	RCP	0.358	2.75	0.040	81.140	0.115	81.254	0.386
1/C	16/A	14	13	225	1.0	0.06	1	94.95	95.66	0.71	94.82	89.03	uPVC	0.040	0.34	0.006	89.037	0.006	89.043	6.617
1/D	5/A	24	22	225	1.0	0.06	1	81.92	82.6	0.68	81.7	82.12	uPVC	0.040	0.62	0.032	82.149	0.019	82.168	0.432
1/E	7/A	22	18	225	1.0	0.06	1	81.82	82.8	0.98	81.64	82.58	uPVC	0.040	0.56	0.022	82.601	0.016	82.616	0.184
1/F	2/F	15	13	225	1.0	0.06	1	85.35	86.12	0.77	85.22	83.55	uPVC	0.040	0.37	0.008	83.557	0.007	83.564	2.556
2/F	8/A	15	7	225	1.0	0.06	1	85.19	86.09	0.90	85.12	83.54	uPVC	0.040	0.37	0.004	83.543	0.007	83.550	2.540

02	T.T.	06/05/22	E.S.	ISSUE FOR DA APPLICATION
01	T.T.	27/04/22	E.S.	ISSUE FOR DA APPLICATION
REV.	DRN.	DATE	CHK.	DESCRIPTION

THIS DRAWING IS NOT TO BE USED FOR TENDER/CONSTRUCTION UNLESS ENDORSED BELOW						
ROJECT VERIFIER'S SIGNATURE:	DATE:					

	CIVIL AND HYDRAUL ENGINEERING DESIG PROJECT MANAGEME
	SUITE 26 11 - 13 BROOKHOLLO NORWEST NSW 2153
& CONSULTING	PHONE: (02) 9680 FAX: (02) 9634
ENGINEERS	ABN 21 118 134 240

CIVIL AND HYDRAULIC ENGINEERING DESIGN AND PROJECT MANAGEMENT SUITE 26 11 - 13 BROOKHOLLOW AVE NORWEST NSW 2153 PHONE: (02) 9680 3100 FAX: (02) 9634 6989

DRAWN	T.T.	11/01/2022		
DESIGNER	E.S.	CAMDEN COUNCIL		
ENGINEER	E.S.	SCALE @ A1 1:500		
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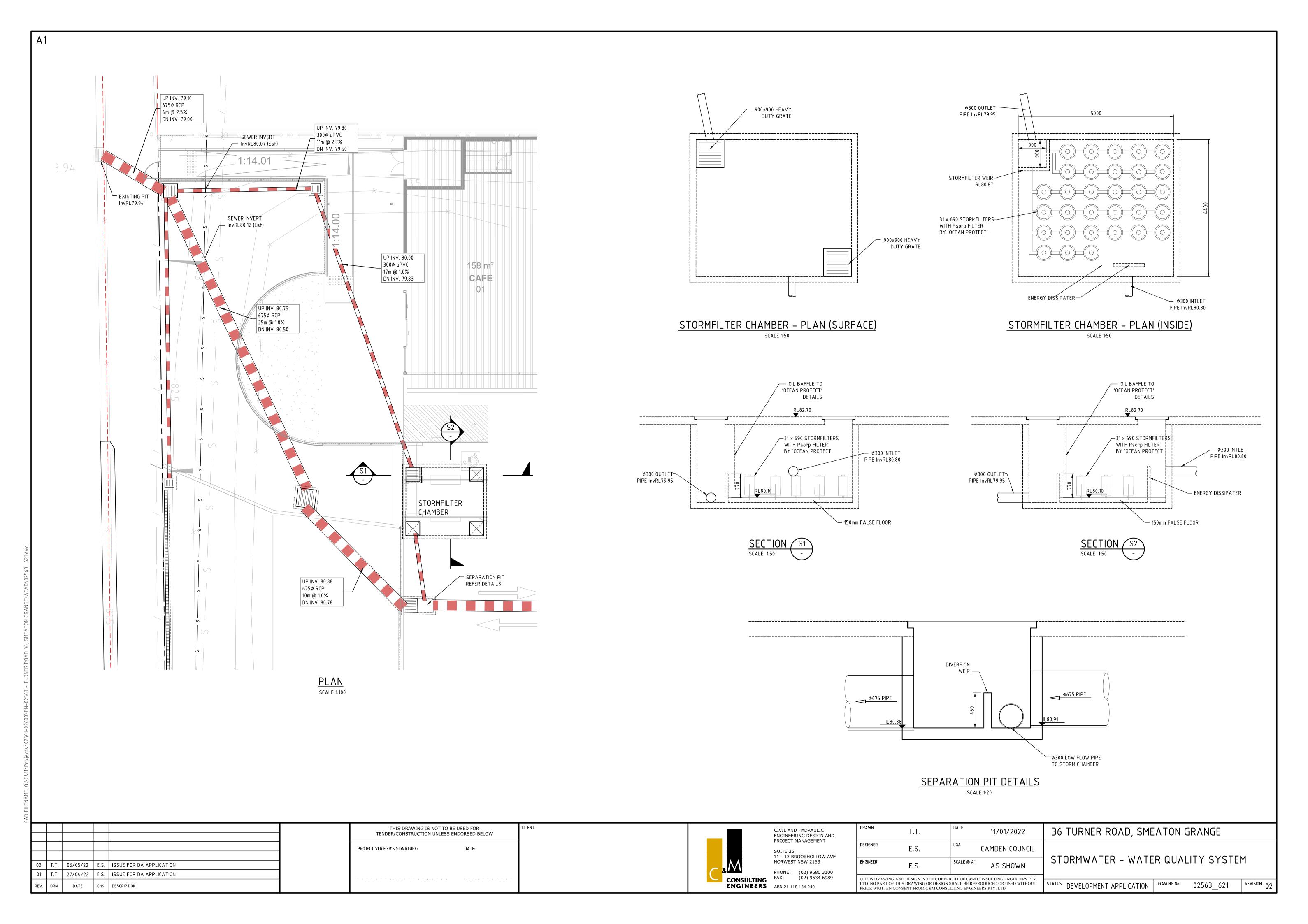
STORMWATER CALCULATION TABLES

36 TURNER ROAD, SMEATON GRANGE

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STATUS DEVELOPMENT APPLICATION DRAWING No. 02563_611

REVISION 02



'RUSLE' CALCULATION SEDIMENTATION BASIN CALCULATION FOR TYPE D SOIL Constraint (Source)* Value **TOTAL** Rainfall Erosivity (R-factor) 2500 (Appendix B - Map 10) 0.25 (Table F2) Volumetric Runoff Coefficient, Cv 0.034 (Table C19 – Picton) Soil Erodibility (K-factor) 75th percentile 5 Day total rainfall depth 20.2mm 0.72 (Based on 100m average Length/Slope Gradient Catchment Area: 1 Ha (Unit Area) Table A1 Factor, LS slope length) Settling Zone Volume (per hectare), V_{sett} 50.5 m³ Erosion Control Practice 1.3 (Compacted) $(= 10 \times Cv \times A \times R_{75})$ Table A2 Factor (P-Factor) Disturbed Catchment Area 1 Ha (Unit Area) 1.0 (During Earthworks) Table A3 Cover Factor (C-Factor) RKLSPC (see above) 79 t/Ha/yr 0.1 (Bitumen Emulsion- Post-Earthworks Operation) 15.2 m³ 30% of Settling Zone Volume 79 t/Ha/yr (During Earthworks) Calculated Soil Loss, A A=RKLSPC Sediment Zone Volume, V_{sed} (0.17 A (R K LS P C)/1.3 $10.33 \text{ m}^3 < 30\% \text{ V}_{\text{sett}} \text{So} =$ STABILISED ACCESS -(RUSLE equation) 7.9 t/Ha/yr (Post-Earthworks) 50% Settling ZV = 25.3 m³ V_{sed} should be >30% of V_{sett} Soil Loss Class (Table 4.2) 1 – Very Low Total Sediment Basin Volume Required: 76 m³/Ha (Table C19) Soil Hydrologic Group 75th Percentile 5-day 20.2mm (Camden) (Table 6.3a) Rainfall Event Volumetric Runoff 0.25 (Table F2) Coefficient, Cv BASIN MANAGEMENT 1 THE CAPTURED STORMWATER IN THE SETTLING ZONE SHOULD BE DRAINED TO MEET THE MINIMUM STORAGE CAPACITY REQUIRED WITHIN A FIVE (5) DAY PERIOD FOLLOWING RAINFALL, PROVIDED THE ACCEPTABLE WATER QUALITY (NFR) AND TURBIDITY HAVE BEEN ACHIEVED. 2 CHEMICAL FLOCCULENT SUCH AS GYPSUM MAY BE DOSED TO AID SETTLING WITHIN 24 HOURS OF CONCLUSION OF EACH STORM. THE APPLIED DOSING RATES SHOULD ACHIEVE THE TARGET QUALITY WITHIN 36 TO 72 HOURS OF THE STORM EVENT. LEGEND ALL SEDIMENTATION AND EROSION CONTROL MUST BE SEDIMENT FENCE CARRIED OUT IN ACCORDANCE WITH LANDCOM'S MANAGING MESH & GRAVEL INLET FILTER URBAN STORMWATER: SOILS AND CONSTRUCTION - VOLUME 1 4TH EDITION, ALSO KNOWN AS THE BLUE BOOK INLET FILTER STABILISED SITE ACCESS SEDIMENTATION BASIN NOTE: REFER TO COUNCIL STANDARD FOR DETAILS OF MEASURES THIS DRAWING IS NOT TO BE USED FOR 36 TURNER ROAD, SMEATON GRANGE CIVIL AND HYDRAULIC ENGINEERING DESIGN AND 11/01/2022 T.T. TENDER/CONSTRUCTION UNLESS ENDORSED BELOW PROJECT MANAGEMENT E.S. CAMDEN COUNCIL PROJECT VERIFIER'S SIGNATURE: 11 - 13 BROOKHOLLOW AVE NORWEST NSW 2153 SEDIMENTATION & EROSION CONTROL

AS SHOWN

STATUS DEVELOPMENT APPLICATION DRAWING No. 02147_701

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ENGINEERS ABN 21 118 134 240

02 T.T. 06/05/22 E.S. ISSUE FOR DA APPLICATION

CHK. DESCRIPTION

01 T.T. 27/04/22

E.S. ISSUE FOR DA APPLICATION

Project: SMEATON GRANGE PROPOSED CHILDCARE CENTRE 36 TURNER ROAD, SMEATON GRANGE, NSW 2567 Date: 28.09.2022 Job Number: 220509 Drawing Number: DA_01 Drawing Name: Context plan Scale: 1:1000

For	Date	Date	Ver.
DA		190522	Α
DA		150722	В
DA		280922	С

True North:







LANDSCAPE PLAN - Site Context



- 1. New street trees
- 2. Seating area with crushed gravel
- 3. Low maintenance plants
- 4. Sir grange turf
- 5. Seating area

LANDSCAPE PLAN - Podium Anderson Rd



Project:

SMEATON GRANGE
PROPOSED CHILDCARE CENTRE

36 TURNER ROAD, SMEATON GRANGE,

NSW 2567

Date: 28.09.2022

Job Number: 220509

Drawing Number: DA_02

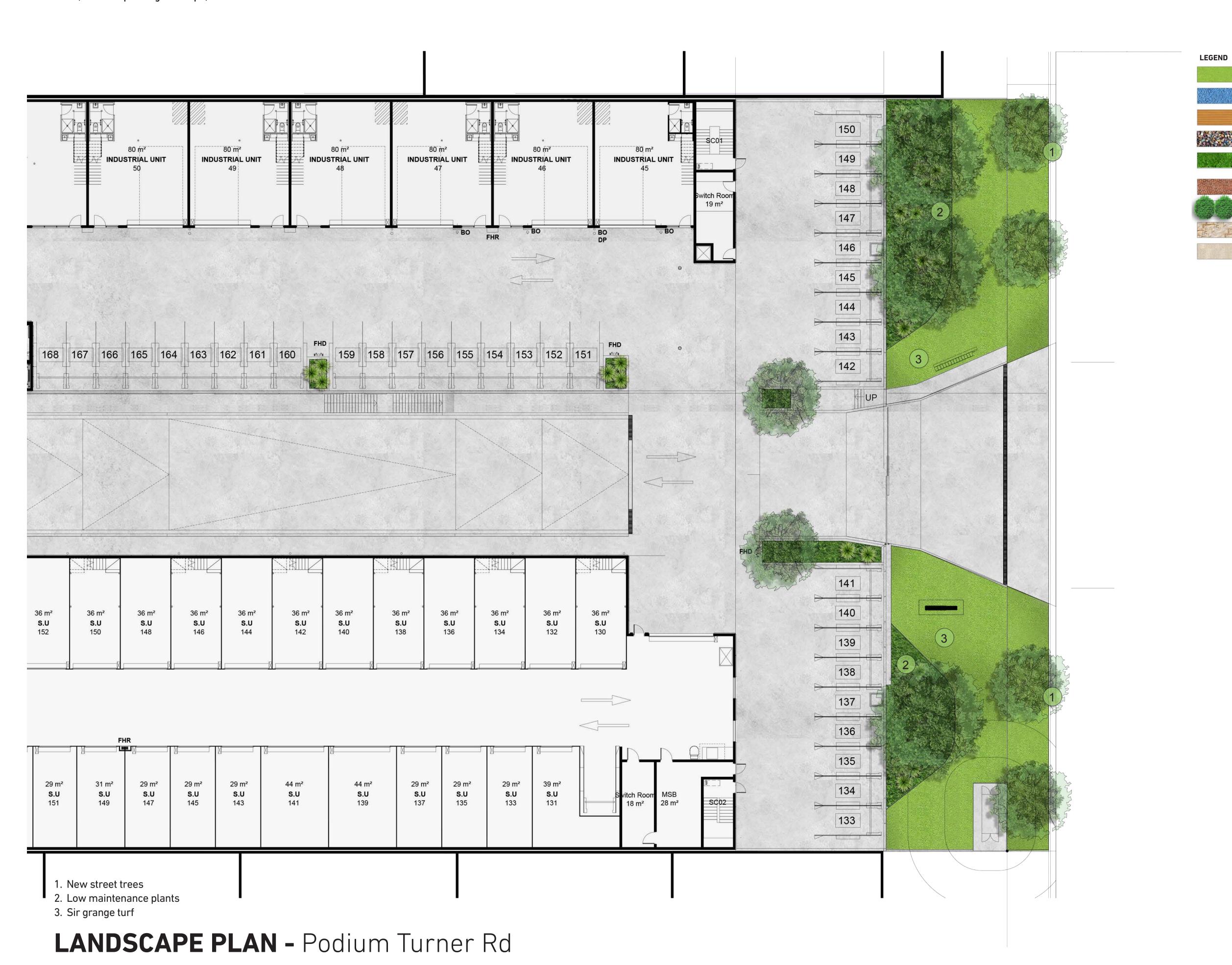
Drawing Name: Podium - Anderson Rd

Scale: 1:150

For	Date	Date	Ver.
DA		190522	Α
DA		150722	В
DA		280922	С







SMEATON GRANGE

ARTIFICIAL TURF

TIMBER DECKING

COBBLES PAVING

PLANTER BED

SANDSTONE

SAND PIT

RUBBER SOFTFALL ZONE

RECYCLED BRICK PAVING

GRASS AND SHRUBS

SMEATON GRANGE PROPOSED CHILDCARE CENTRE

36 TURNER ROAD, SMEATON GRANGE, NSW 2567

Date: 28.09.2022

Job Number: 220509

Drawing Number: DA_03

Drawing Name: Podium - Turner Rd

Scale: 1:150

For	Date	Date	Ver.
DA		190522	Α
DA		150722	В
DA		280922	С





ARTIFICIAL TURF RUBBER SOFTFALL ZONE TIMBER DECKING COBBLES PAVING PLANTER BED RECYCLED BRICK PAVING GRASS AND SHRUBS

NOTE: OUTDOOR PLAY AREA DESIGN IS SUBJECT TO CHANGE AND TO BE FINALISED AT CONSTRUCTION CERTIFICATE STAGE

SAND PIT

SANDSTONE

LEGEND

Project:

NSW 2567

SMEATON GRANGE PROPOSED CHILDCARE CENTRE 36 TURNER ROAD, SMEATON GRANGE,

Date: 28.09.2022

Job Number: 220509

Drawing Number: DA_04

Drawing Name: Playscape plan 1

Scale: 1:100

For	Date	Date	Ver.
DA		190522	Α
DA		150722	В
DA		280922	С

True North:



GREENSCAPE®
Architecture + Landscape Design

- 1. Sand pit with shad over
- 2. Sensory garden with steppers
- 3. Sensory planters next to reading circle
- 4. Modular outdoor equipment
- 5. Timber deck transition zone
- 6. Storage
- 7. Natural turf

LANDSCAPE PLAN - Ground Floor Playscape



15. Raised planter for trees

LEGEND

ARTIFICIAL TURF

RUBBER SOFTFALL ZONE

TIMBER DECKING

COBBLES PAVING

PLANTER BED

RECYCLED BRICK PAVING

GRASS AND SHRUBS

SANDSTONE

SAND PIT

NOTE: OUTDOOR PLAY AREA DESIGN IS SUBJECT TO CHANGE AND TO BE FINALISED AT CONSTRUCTION CERTIFICATE STAGE

Project:

SMEATON GRANGE
PROPOSED CHILDCARE CENTRE

36 TURNER ROAD, SMEATON GRANGE, NSW 2567

Date: 28.09.2022

Job Number: 220509

Drawing Number: DA_05

Drawing Name: Playscape plan 2

Scale: 1:100

J	Jacc. 1.100		
For	Date	Date	Ver.
DA		190522	Α
DA		150722	В
DA		280922	С

True North:



GREENSCAPE Architecture + Landscape Design

1. Timber deck transition zone

2. Outdoor dining

3. Raised herb garden

4. Timber bridge over wet creek bed

5. Insitu river pebble wet creek bed

6. Timber deck with pump

7. Raised sand pit

8. Raised planter

8. Raised planter9. Outdoor kitchen

10. Open cubby

11. Raised planter with steppers

12. Soft fall mound nom 300mm

13. Multi surface bike track

14. Active fort area

LANDSCAPE PLAN - First Floor Playscape



- 1. Natural soil mound with feature plant to planting plan
- 2. Planter depth 600mm to architectural drawings

LANDSCAPE PLAN - Roof Garden

LEGEND ARTIFICIAL TURF RUBBER SOFTFALL ZONE TIMBER DECKING COBBLES PAVING PLANTER BED RECYCLED BRICK PAVING GRASS AND SHRUBS SANDSTONE SAND PIT

SMEATON GRANG

NSW 2567				
Da	ate: 28.09.2022			
Jo	b Number: 220509			
Dr	rawing Number: DA_	_06		
Dr	awing Name: Roof g	arden 1		
So	:ale: 1:100			
For	Date	Date	Ver.	
DA		190522	Α	
DA		150722	В	
DA		280922	С	

True North:

Project:

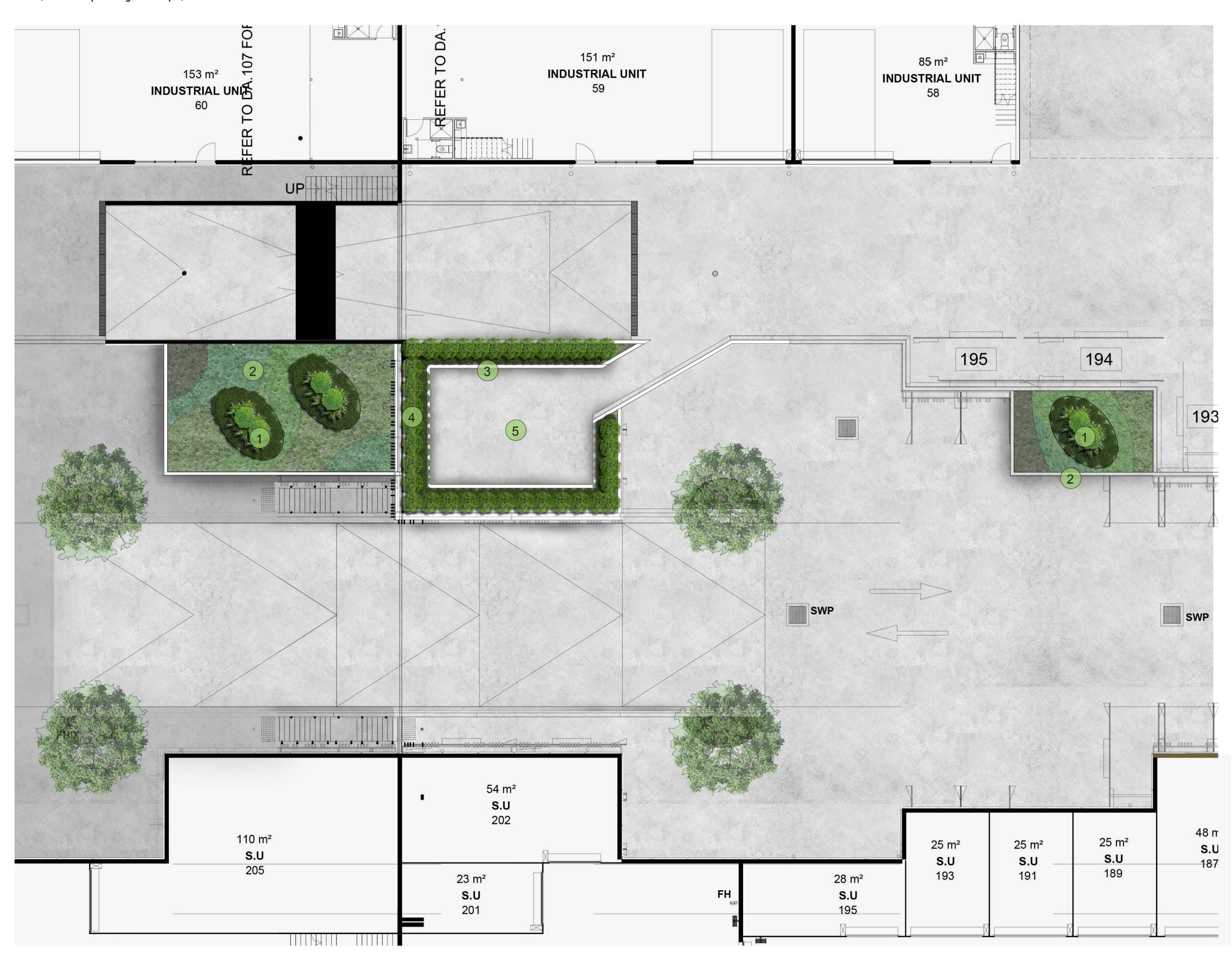
SMEATON GRANGE

PROPOSED CHILDCARE CENTRE

36 TURNER ROAD, SMEATON GRANGE,







- 1. Natural soil mound with feature plant to planting plan
- 2. Planter depth 600mm to architectural drawings
- 3. Wall height 1200mm high to architectural drawings
- 4. Planter depth 900mm high to architectural drawings
- 5. Seating area

LANDSCAPE PLAN - Roof Garden



Project:

SMEATON GRANGE
PROPOSED CHILDCARE CENTRE

36 TURNER ROAD, SMEATON GRANGE, NSW 2567

Date: 28.09.2022

Job Number: 220509

Drawing Number: DA_07

Drawing Name: Roof garden 2

Scale: 1:100

For	Date	Date	Ver.
DA		190522	Α
DA		150722	В
DA		280922	С







- 1. Natural soil mound with feature plant to planting plan
- 2. Planter depth 600mm to architectural drawings

LANDSCAPE PLAN - Roof Garden



Project:

SMEATON GRANGE PROPOSED CHILDCARE CENTRE

36 TURNER ROAD, SMEATON GRANGE, NSW 2567

Date: 28.09.2022

Job Number: 220509

Drawing Number: DA_08

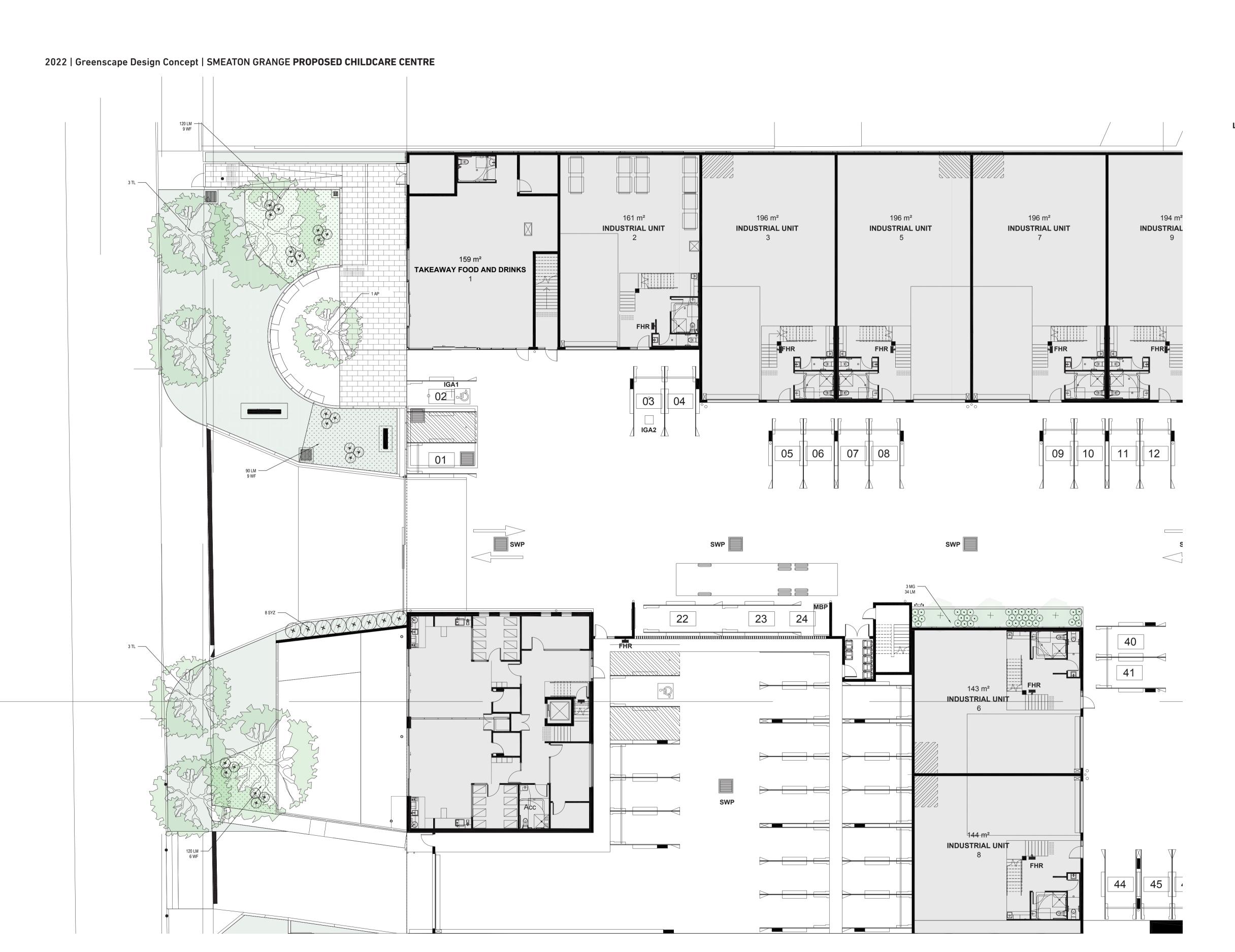
Drawing Name: Roof garden 3

Scale: 1:100

For	Date	Date	Ver.
DA		190522	Α
DA		150722	В
DA		280922	С







PLANTING PLAN - Podium Anderson Rd

PROPOSED GRASS

PROPOSED SHRUB PLANTING

RAIN WATER OUTLET

PROPOSED GROUND

TOP OF WALL REDUCED

TOP OF PARAPET REDUCED LEVEL

REDUCED LEVEL

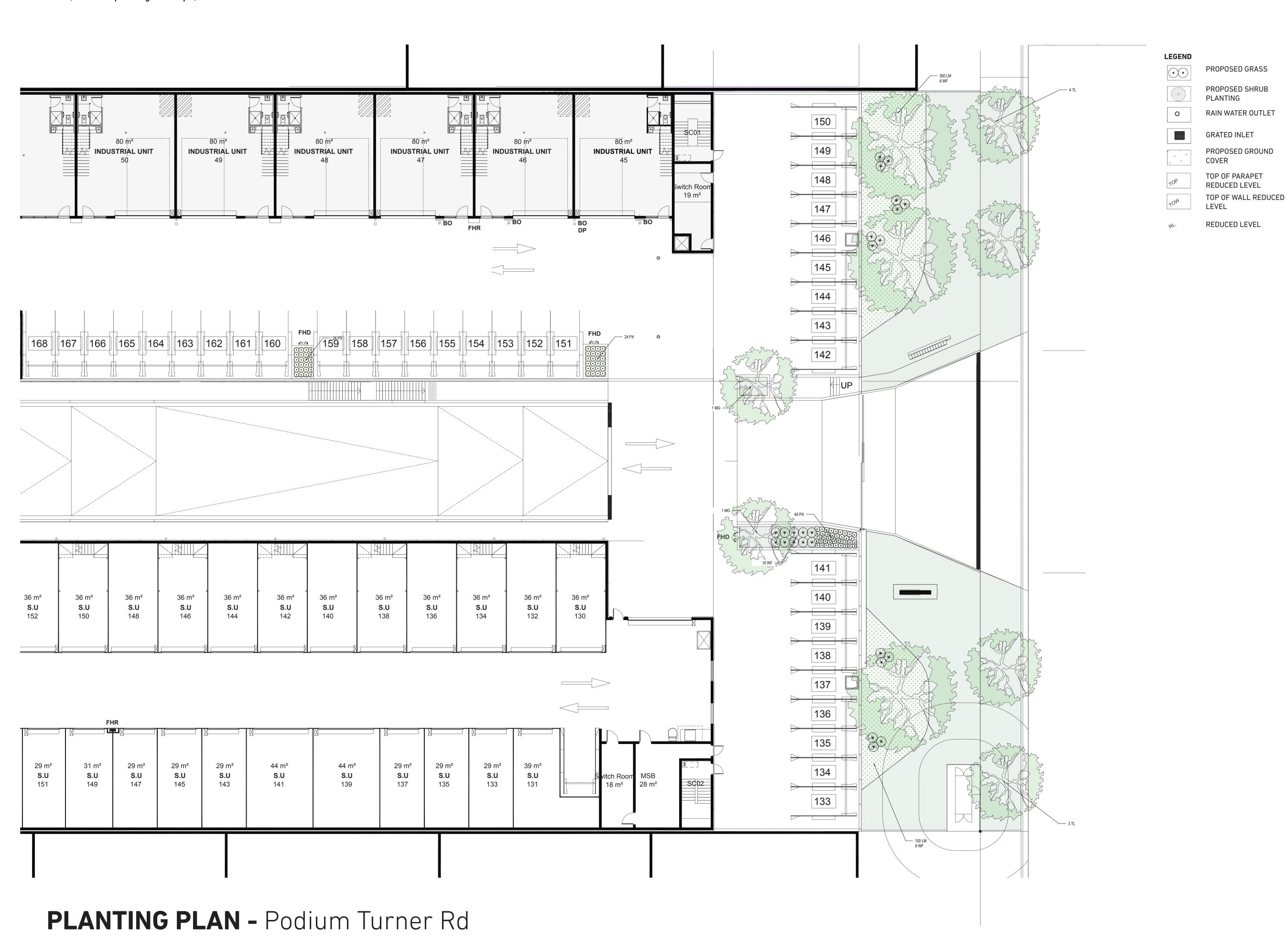
LEVEL

GRATED INLET

Pr	oject:			
•	EATON G		RE CENTR	E
	TURNER F W 2567	ROAD,SME	ATON GRA	NGE,
Da	i te: 28.09.	2022		
Jo	b Number	: 220509		
Dr	awing Nu	mber: DA_	_09	
Dr	awing Naı	me: Plantin	ng plan 1	
Sc	ale: 1:150			
For	Date		Date	Ver.
DA			190522	Α
DA			150722	В
DA			280922	С







Pr	oject:				
	SMEATON GRANGE PROPOSED CHILDCARE CENTRE				
	36 TURNER ROAD, SMEATON GRANGE, NSW 2567				
Da	te: 28.09.2022				
Job Number: 220509					
Dr	awing Number: DA_	10			
Dr	awing Name: Plantin	g plan 2			
Sc	ale: 1:150				
For	Date	Date	Ver.		
DA		190522	Α		
DA		150722	В		
DA		280922	С		

True North:



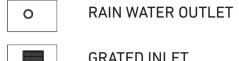


LEGEND

PROPOSED GRASS



PROPOSED SHRUB PLANTING



GRATED INLET



PROPOSED GROUND COVER



TOP OF PARAPET REDUCED LEVEL TOP OF WALL REDUCED LEVEL

REDUCED LEVEL

Project:

SMEATON GRANGE PROPOSED CHILDCARE CENTRE 36 TURNER ROAD, SMEATON GRANGE, NSW 2567

Date: 28.09.2022

Job Number: 220509

Drawing Name: Planting plan 3

Drawing Number: DA_11

Scale: 1:100

For	Date	Date	Ver.
DA		190522	Α
DA		150722	В
DA		280922	С

True North:





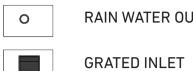
PLANTING PLAN - Ground Floor Playscape

LEGEND

PROPOSED GRASS



PROPOSED SHRUB **PLANTING**



RAIN WATER OUTLET



PROPOSED GROUND COVER



TOP OF PARAPET REDUCED LEVEL TOP OF WALL REDUCED LEVEL

REDUCED LEVEL

Project:

SMEATON GRANGE PROPOSED CHILDCARE CENTRE 36 TURNER ROAD, SMEATON GRANGE,

Date: 28.09.2022

NSW 2567

Job Number: 220509 **Drawing Number:** DA_12

Drawing Name: Planting plan 4

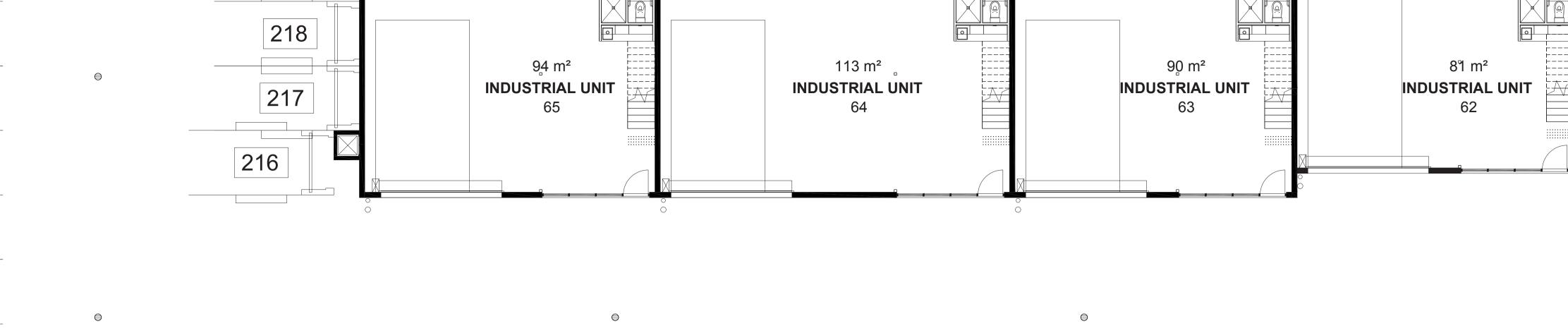
Scate: 1.100				
For	Date	Date	Ver.	
DA		190522	Α	
DA		150722	В	
DA		280922	С	

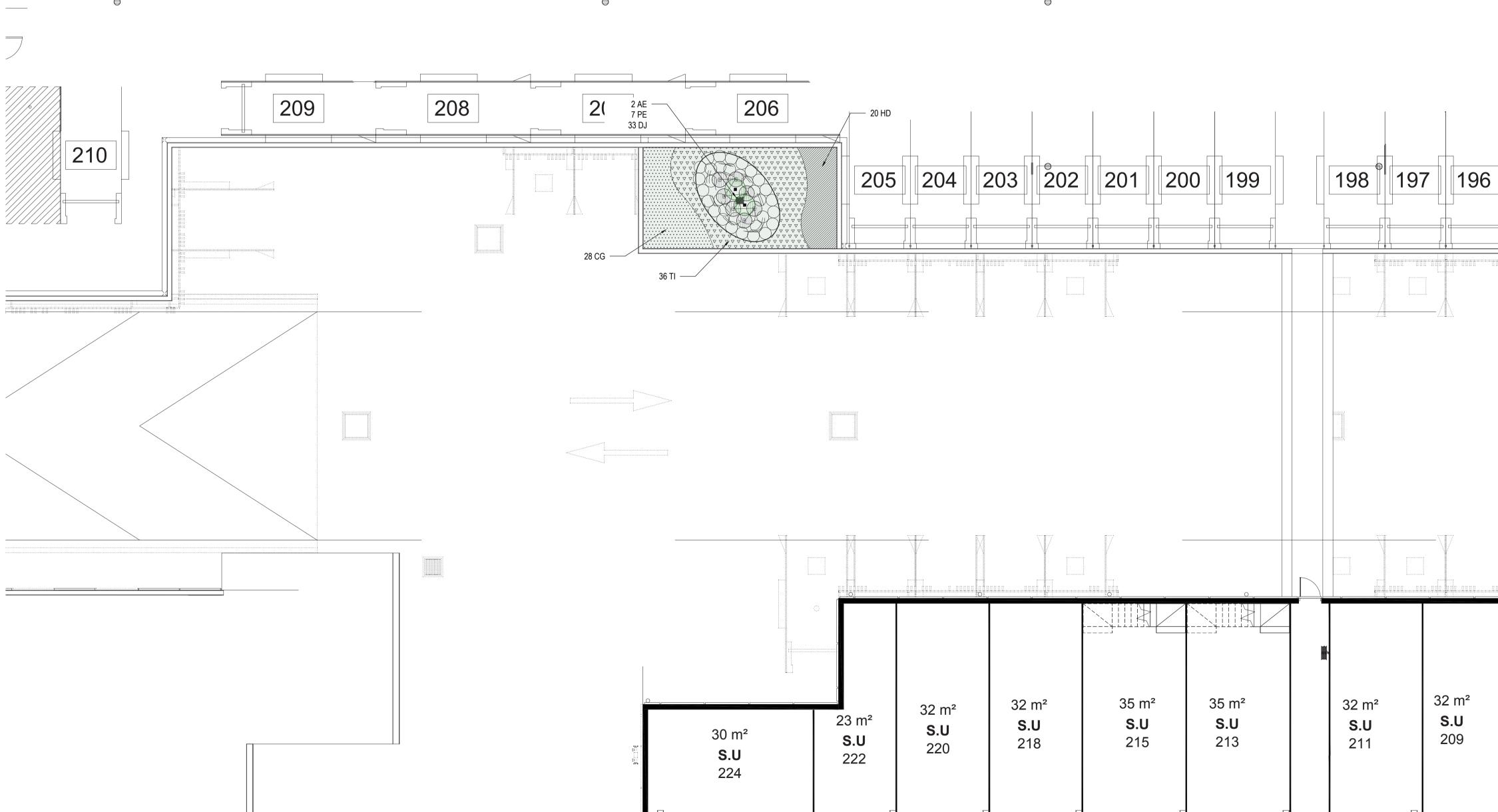
True North:





PLANTING PLAN - First Floor Playscape





PLANTING PLAN - Garden Roo

LEGEND PROPOSED GRASS PROPOSED SHRUB PLANTING RAIN WATER OUTLET **GRATED INLET** PROPOSED GROUND COVER TOP OF PARAPET REDUCED LEVEL TOP OF WALL REDUCED

LEVEL

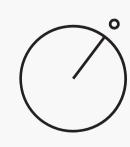
REDUCED LEVEL

PROPOSED CHILDCARE CENTRE			
	TURNER ROAD,SMI W 2567	EATON GRA	NGE,
Da	ate: 28.09.2022		
Jo	b Number: 220509	7	
Dr	awing Number: DA	_13	
Dr	awing Name: Planti	ng plan 5	
So	ale: 1:100		
For	Date	Date	Ver.
DA		190522	Α
DA		150722	В
DA		280922	С

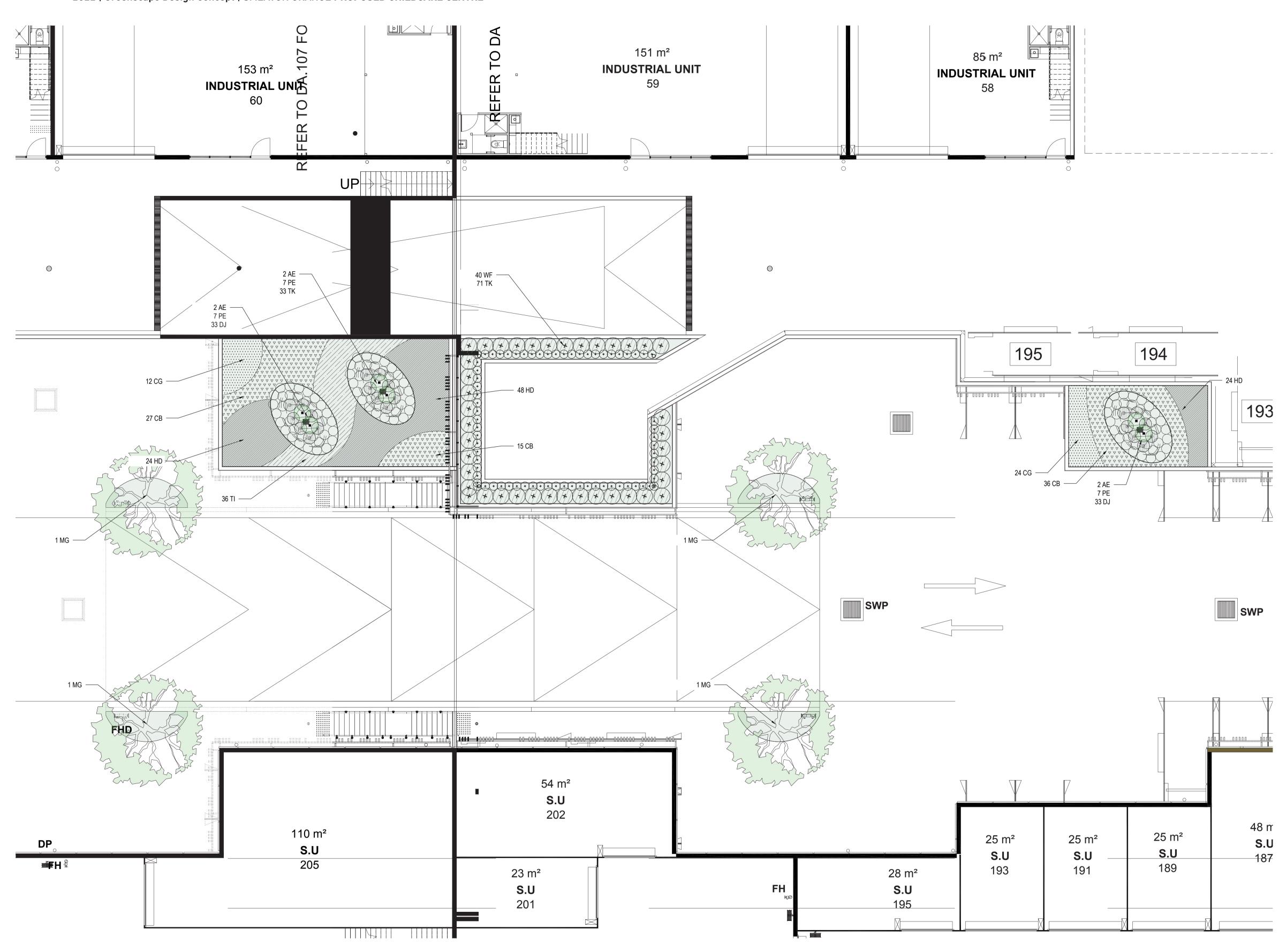
True North:

Project:

SMEATON GRANGE







PLANTING PLAN - Garden Roo

LEGEND

PROPOSED GRASS

PROPOSED SHRUB

RAIN WATER OUTLET

PROPOSED GROUND

TOP OF WALL REDUCED

TOP OF PARAPET REDUCED LEVEL

REDUCED LEVEL

PLANTING

GRATED INLET

COVER

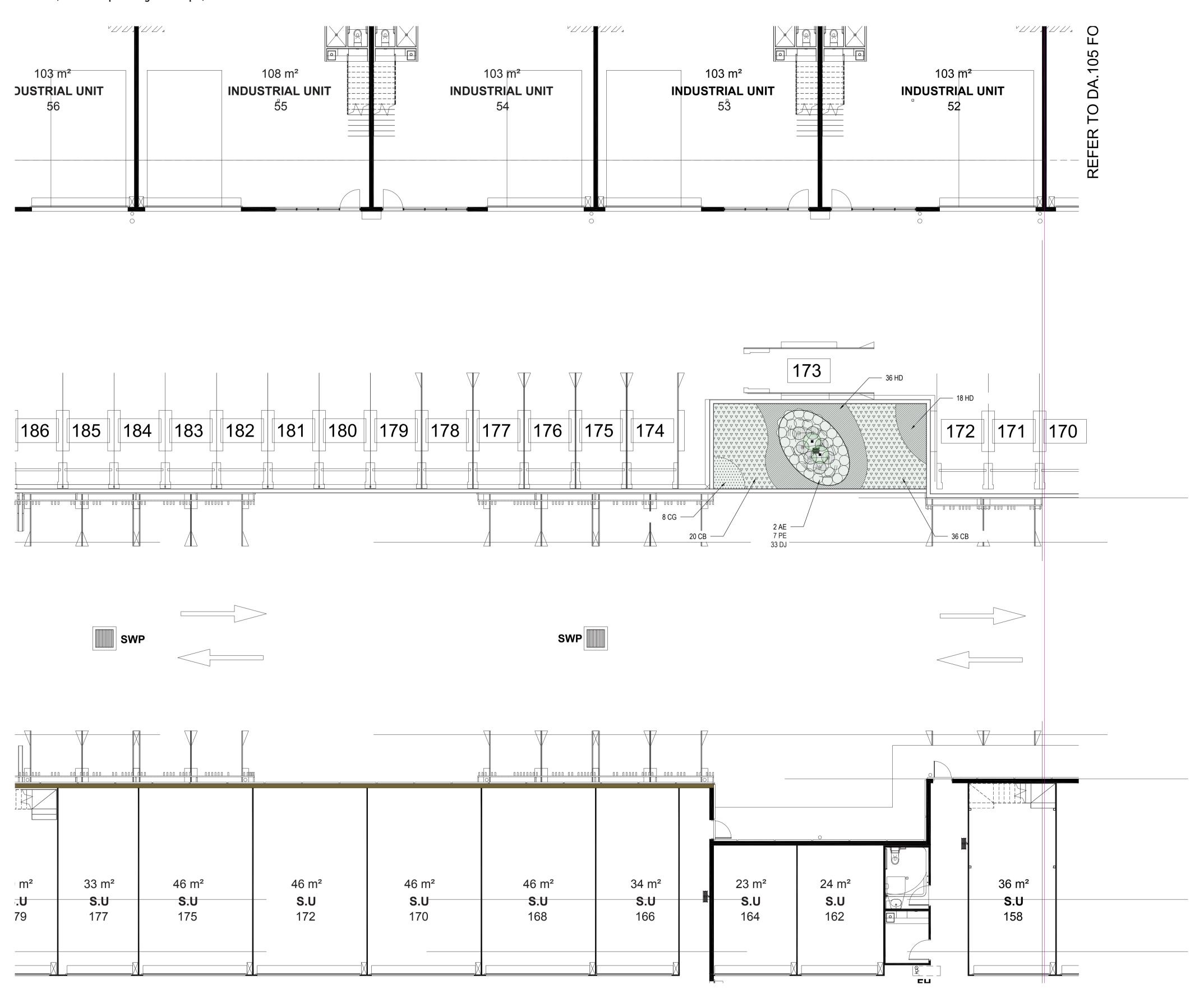
LEVEL

Project: SMEATON GRANGE PROPOSED CHILDCARE CENTRE 36 TURNER ROAD, SMEATON GRANGE, NSW 2567 Date: 28.09.2022 Job Number: 220509 Drawing Number: DA_14 Drawing Name: Planting plan 6 Scale: 1:100

For	Date	Date	Ver.
DA		190522	Α
DA		150722	В
DA		280922	С





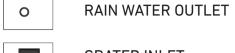


PLANTING PLAN - Garden Roo

LEGEND

PROPOSED GRASS

PROPOSED SHRUB **PLANTING**



GRATED INLET



PROPOSED GROUND COVER



TOP OF PARAPET REDUCED LEVEL TOP OF WALL REDUCED LEVEL

REDUCED LEVEL

Project:

SMEATON GRANGE PROPOSED CHILDCARE CENTRE

36 TURNER ROAD, SMEATON GRANGE, NSW 2567

Date: 28.09.2022

Job Number: 220509

Drawing Number: DA_15

Drawing Name: Planting plan 7 Scale: 1:100

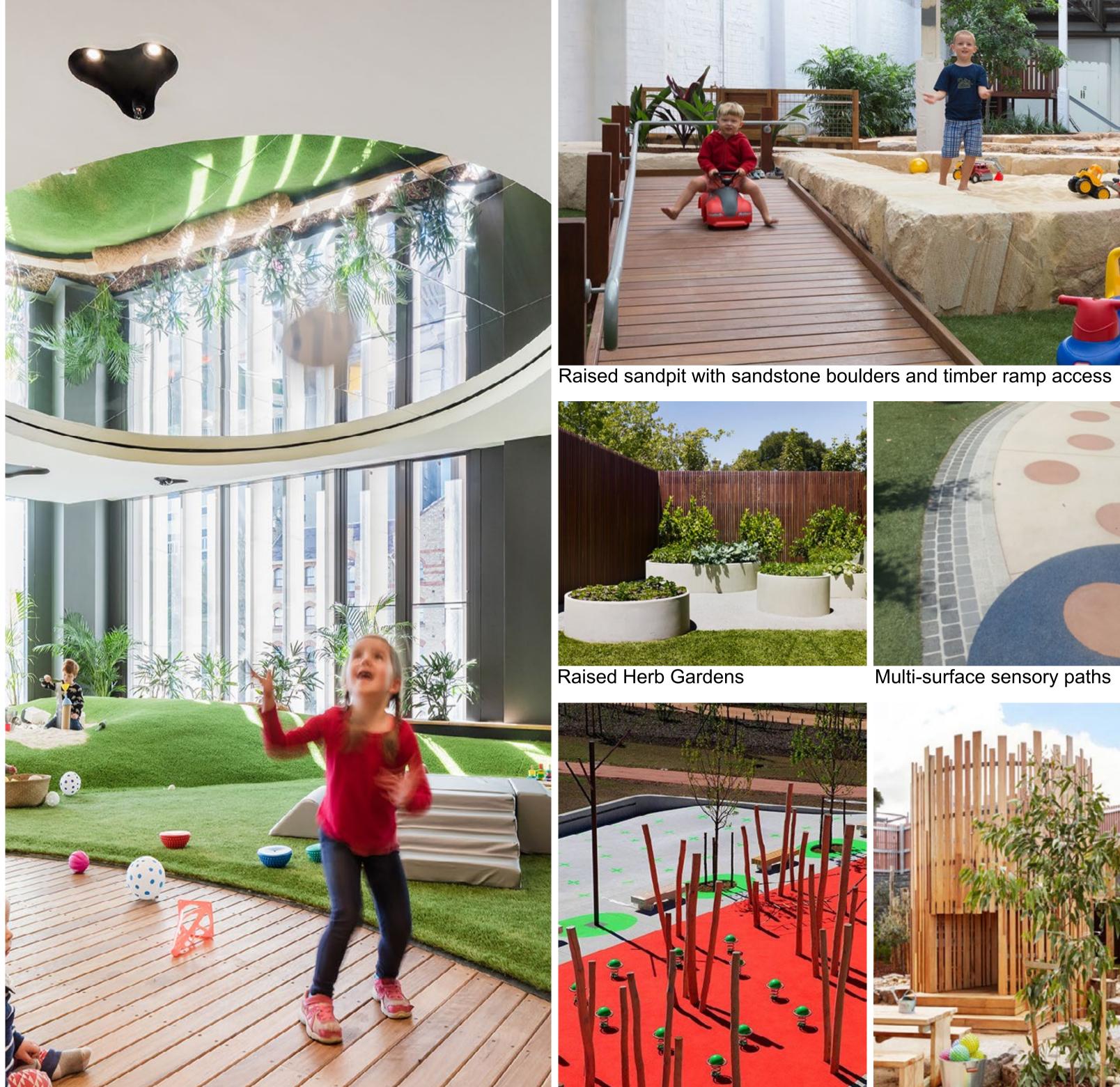
For	Date	Date	Ver.
DA		190522	Α
DA		150722	В
DA		280922	С





Artificial grass sensory panel











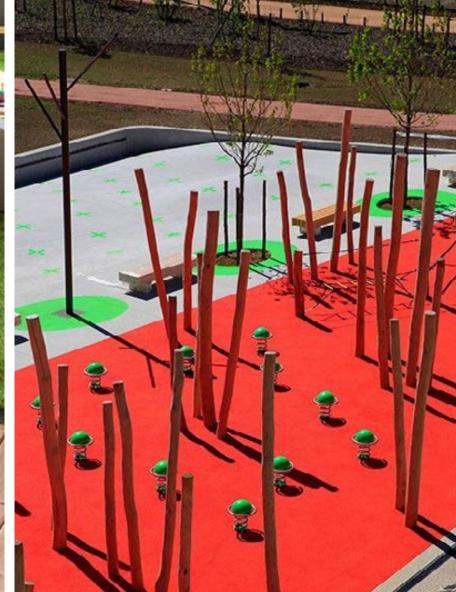


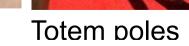
Multi-surface sensory paths

Timber log seats with cushion cover Cobble stone sensory path



Seating nooks on raised timber platforms







Circular timber forts

PRECEDENTAL IMAGES

Timber Deck transition zone & soft fall mounds



Project:

SMEATON GRANGE PROPOSED CHILDCARE CENTRE

36 TURNER ROAD, SMEATON GRANGE, NSW 2567

Date: 28.09.2022

Job Number: 220509 **Drawing Number:** DA_16

Drawing Name: Precedental images

For Date Ve DA 190522 A DA 150722 B DA 280922 C				
DA 150722 B	For	Date	Date	Ver.
	DA		190522	Α
DA 280922 C	DA		150722	В
	DA		280922	С

TREES & PALMS

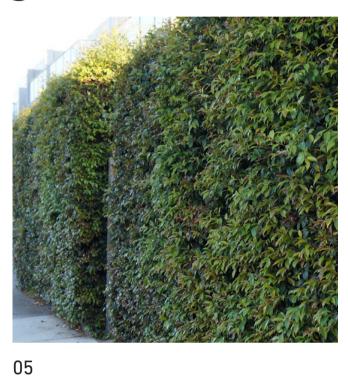






SHRUBS & ACCENTS

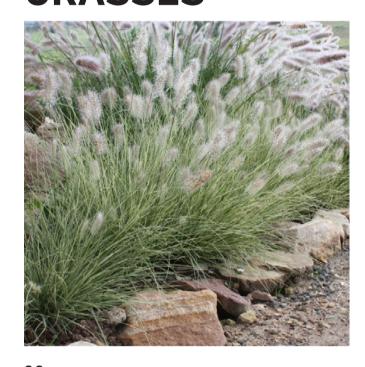




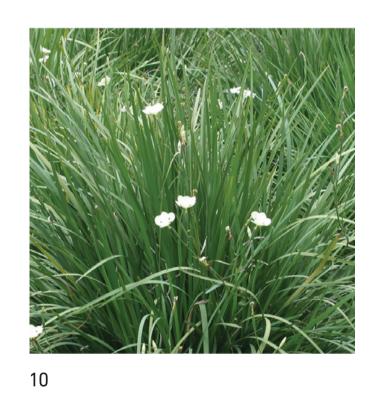


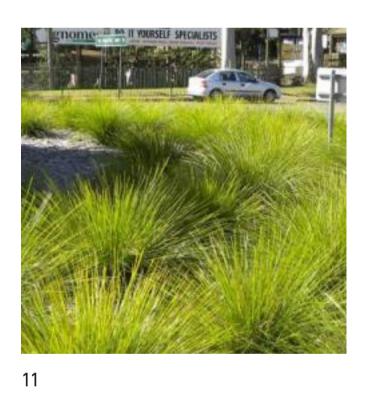


GRASSES











GROUND COVERS











PLANTING PALETTE

SHRUBS & ACCENTS PX PHILODENDRON XANADU WESTRINGIA FRUCTOSA COASTAL ROSEMARY 2X4 LM LIRIOPE MUSCARI LIRIOPE 75 MM N/A GROUND FLOOR PLAYSCAPE - PLANTING SCHEDULE AP ACER PALMATUM JAPANESE MAPLE 200 LTR 3X5 ASPLENIUM NIDUS BIRDS NEST FERN 200 MM 0.4X0.4 200 MM 0.4X0.4 BLECHNUM GIBBUM BLECHNUM DIETE 0.2X0.2 DIETES BI-COLOUR LITTLE JESS 140 MM 0.2X0.2DIANELLA CAERULLEA 'LITTLE JESS' PENNISETUM ALOPECUROIDES **FOXTAIL PLANT** LOMANDRA LONGIFOLIA TANIKA MAT RUSH 140MM 0.5X0.5 FIRST FLOOR PLAYSCAPE - PLANTING SCHEDULE ACER PALMATUM JAPANESE MAPLE 200 LTR MG MAGNOLIA GRANDIFLORA 'TEDDY BEAR' 4X4 **TEDDY BEAR** 200 LTR SHRUBS & ACCENTS WF WESTRINGIA FRUCTOSA COASTAL ROSEMARY 300 MM 2X4 200MM DORYANTHES EXCELSA GYMEA LILY **DIETES BI-COLOUR** DIETE 140 MM 0.2X0.2 PENNISETUM ALOPECUROIDES 'NAFRAY' **FOXTAIL GRASS** 200MM 0.5X0.5 LOMANDRA LONGIFOLIA TANIKA TANIKA 140 MM 0.2X0.2 ROOF GARDEN - PLANTING SCHEDULE 1 SHRUBS & ACCENTS **ASPIDISTRA ELATIOR** CAST IRON PLANT 300MM 1X1 DIANELLA LITTLE JESS 0.5X0.5 PENNISETUM ALOPECUROIDES 'NAFRAY' FOXTAIL GRASS 200MM HELIANTHUS DEBILIS BEACH SUNFLOWER **CASURINA GLAUCAR** SWAMP OAK TETRAGONIA IMPLEXICOMA BOWER SPINACH 75MM ROOF GARDEN - PLANTING SCHEDULE 2 MG MAGNOLIA GRANDIFLORA 'TEDDY BEAR' **TEDDY BEAR** 200 LTR 4X4 SHRUBS & ACCENTS 300MM AE ASPIDISTRA ELATIOR **CAST IRON PLANT** 1X1 COASTAL ROSEMARY WESTRINGIA FRUCTOSA 300 MM 2X4 DIANELLA LITTLE JESS LITTLE JESS 300MM 1X1 200MM 0.5X0.5 PENNISETUM ALOPECUROIDES 'NAFRAY' **FOXTAIL GRASS** 0.5X0.5 LOMANDRA LONGIFOLIA TANIKA **MAT RUSH BEACH SUNFLOWER** N/A HELIANTHUS DEBILIS CARPOBROTUS GALUCESCENS PIGFACE 75MM CASURINA GLAUCAR **SWAMP OAK BOWER SPINACH** TETRAGONIA IMPLEXICOMA 75MM ROOF GARDEN - PLANTING SCHEDULE 3 SHRUBS & ACCENTS AE ASPIDISTRA ELATIOR CAST IRON PLANT 300MM 1X1 DIANELLA LITTLE JESS LITTLE JESS PENNISETUM ALOPECUROIDES 'NAFRAY' **FOXTAIL GRASS** 200MM 0.5X0.5 **HELIANTHUS DEBILIS BEACH SUNFLOWER** CARPOBROTUS GALUCESCENS PIGFACE 75MM CASURINA GLAUCAR **SWAMP OAK** 75MM 01. Tristaniopsis Laurina 11. Lomandra Longifolia Tanika 12. Doryanthes Excelsa 02. Acer Palmatum 03. Magnolia Grandiflora 13. Liriope Evergreen Giant 04. Wystringia Fructosa 14 Carpobrotus Glasucescens 05. Acmena Smithii Var Minor 15 Helianthus Debilis 06. Blechnum Gibbum 16 Casuarina Glauca 'Cousin It' 07. Asplenium Nidus 17 Tetragonia Implexicoma 08. Pennisetum Alopecuroidesa

COMMON NAME POT SIZE

200 LTF

200 LTR

300 MM

300 MM

75 MM

200 LTR

JAPANESE MAPLE

WATER GUM

LILLY PILLY

COASTAL ROSEMARY

LIRIOPE

WATER GUM

SIZE (WxH) NUMBER

5X15

2X4

N/A

PODIUM ANDERSON RD - PLANTING SCHEDULE

TRISTANIOPSIS LAURINA

PODIUM TURNER RD - PLANTING SCHEDULE

TRISTANIOPSIS LAURINA

09. Dianella Caerullea 'Little Jess'

10. Dietes Bi-Colour

CODE BOTANICAL NAME

AP ACER PALMATUM

SYZ SYZGIUM 'CASCADE'

LM LIRIOPE MUSCARI

WF WESTRINGIA FRUCTOSA

SHRUBS & ACCENTS

Project:

SMEATON GRANGE
PROPOSED CHILDCARE CENTRE

36 TURNER ROAD, SMEATON GRANGE, NSW 2567

Date: 28.09.2022

Job Number: 220509

Drawing Name: Planting palette

Drawing Number: DA_17

For	Date	Date	Ver.
DA		190522	Α
DA		150722	В
DA		280922	С



LANDSCAPE SPECIFICATION

1. Initial preparation: Shall mean all preliminaries and all preparation works as necessary. Commencement of work by landscape contractor shall be deemed as proof of contractor's acceptance of existing condition of site. No work shall be carried out until all underground services have been identified and accurately located and pegged by contractor.

All work on this site shall comply with appropriate and current australian standards and bca. Contractor shall be responsible for removal from site of all rubbish and

for removal from site of all rubbish and debris encountered in areas to be landscaped.

2. Earthworks: Shall mean Excavation and earthworks as necessary
Contractor shall undertake works as necessary to achieve levels and grades that allow for addition of materials as detailed to bring works to proposed finished levels. Contractor shall ensure that finished levels of garden beds remain below damp proof course on buildings and that finished soil levels in garden areas finish 30mm (after allowing for settlement) below level of adjacent pathways, retaining walls,

3. Masonry walling

Hydrasplit sandstone wall for raised sandpits **General**

kerbs or other containing edge.

This item includes complete construction of approved structurally retaining walls. All walls to heights, details and locations as indicated on landscape plan (drawing no. Wd_01), **Inspections**

Provide minimum 48 hours notice to landscape architect for the following inspection(s) by landscape architect:

- Setout of exact location of all walling specified herein, prior to proceeding further;
- All waterproofing and drainage prior to backfilling of wall;
- Prior to installation of all sandstone

4. Materials and workmanship

Erect all walling perfectly vertical and true to line. Walling shall be structurally sound, and to levels/heights as indicated on plan. All workmanship and materials shall be in accordance with current australian standard.

Waterproofing of masonry walls (where retaining) is a most important item and shall be carried out to highest standard possible. Waterproof masonry walls (where retaining) prior to installation of drainage layer (specified hereunder)

5. Construction

Wall height and thickness: walling shall be constructed to heights as indicated on plan and reinforcement: place and fix reinforcement as specified during construction of walling. Mortar joints: provide nom. 10mm flush mortar joints between masonry units on both internal and external faces, providing open perpends to base course for drainage purposes.

Construction joints: install and allow for all vertical control/expansion joints in walls as required. Ensure that joints in walls, especially in junction areas, are sealed with approved compound.

Drainage & damp proof course: waterproof rear of all reinforced masonry retaining walls & boundary wall prior to incorporation of drainage layer to rear of wall. For drainage purposes, install 30-40mm thick, geofabric-wrapped atlantis wall panel drainage system (or equal), to rear of reinforced concrete block walls (where retaining). Install 75mm diameter agricultural drainage pipe (or equal) to bottom of drainage panels and connect such to stormwater disposal system. Install coarse aggregate in nom. 150mm wide layer to extend up back of retaining walls, finishing nom. 150mm above concrete footing. Install wall drainage system to approval of landscape architect and to supplier's specifications.

Waterproof render: render mix shall be approved cement render mix, applied to internal face of walls. Add approved waterproofing compound (to manufacturer's specification) to render mix used on internal face of walls. Store, handle and install render products and compounds to manufacturer's specifications and recommendations. Render shall comply with appropriate australian standard. Apply approved cement render in nom. 12-15mm thick single coat by wood-floating. Finished surface shall be even, free from defects and

true to required surface (refer to detail on drawing no.Wd02).

Sandstone capping: walls shall be faced and capped with rock face sandstone. Capping material shall be 270mm wide x 75mm thick. Rockface sandstone shall be 'mt white white' as available from gosford quarries, or approved equivalent. Sandstone facing shall be laid in random pattern bond with jointing to be tight butted with concealed grouting. Sandstone works shall be left clean and free from , stains or blemishes on completion

Provisions: ensure that all required openings, holes, casings, grooves etc.
To accommodate various services are planned for during construction, in order to avoid breaking or cutting of completed work wherever possible.

6. Soil preparation to garden areas:

Shall mean preparation of all garden areas plus installation of topsoil mix and soil conditioner as necessary. Consolidated depth (that is, as necessary to allow for future settlement) of approved free draining organic topsoil mix. Allow for supply, installation and thorough cultivation (into 225mm depth of site soil beneath) of 75mm depth of if necessary (to landscape architect's approval) to all general garden areas.

No work shall be carried out on garden areas whilst soil is wet, to avoid compaction of these areas. All bricks, pieces of timber and other debris shall be raked up from proposed lawn and garden areas and transferred to separate stockpile, to be removed from site by contractor at approved intervals. Prepared soil shall be allowed to cure prior to installing plants. Ensure that all garden areas drain satisfactorily. If drainage problems exist contractor shall advise landscape architect in writing and wait for further instructions. Complete soil preparation shall be to approval of landscape architect.

7. Irrigation: Shall mean complete supply and installation of approved drip irrigation system to all garden areas.

Completed system shall be to approval of landscape architect and shall comply with all current authority requirements.

Drip irrigation system shall adequately cover all garden areas and shall be appropriate to and suitable for plants specified. Irrigation system shall be connected to mains water. Irrigation system to be controlled by automatic solenoid valves, with controller to be located in approved location. Automatic rain sensor shall be provided to prevent watering to areas during periods of rain or excess soil moisture.

Power supply shall be provided to an approved location by others and shall consist of a gpo with an approved locking device to prevent accidental disconnection of power to controller.

Ensure that all connecting pipe work is adequately covered with plastic and tape during installation, to ensure that no soil or other material can enter and block pipes. Contractor shall ensure that all garden areas as indicated above are satisfactorily irrigated, ensuring that soil is kept moist, not wet, to approval of landscape architect. Contractor shall check pressure of water supply on site and ensure that this is taken into account for both tender and final design/installation.

Twelve months warranty on irrigation system shall be provided by contractor, covering both materials and labour.

Contractor shall fully detail and submit together with tender an outline of proposed system and equipment

8. Paving: General: lay all (i) random diamond cut sandstone paving (sealed) with rounded edges on nom 20mm mortar bed over r. Conc slab to nominated rl in locations as shown on landscape plan. Top of finished surface of paving shall be even.

Laying: lay paving to approved grades and with nom. 1:80 Falls to ensure that surface sheds water. And keep surfaces clean as paving is laid.

Refer to typical details for paving types

9. Planting, fertilising and staking:

Shall mean all planting and fertilising works as necessary. Plants shall be as detailed on landscape plan and in schedule. No substitutes for species or cultivars named in schedule shall be accepted without prior consultation

with landscape architect. Plants shall be well grown, healthy, not soft or forced, nor root-bound. Plant development shall be of reasonable size, proportionate to size of container and habit of plant, and in vigorous growth.

All plants shall be watered immediately prior to planting and plant set-out approved by landscape architect prior to planting. Planting holes shall be dug to depth and slightly larger than width of plant root ball which they are to receive. Base of planting hole shall be loosened to a depth of 75mm and surface dressing of slow release fertilizer (equal to 'osmocote' or 'nutricote' 8-9 month release formulation, low phosphorous as appropriate), added to hole to manufacturer's recommendations and worked into loosened soil at base of hole. Hole shall be filled with water, allowed to drain, and then plant installed into hole. Root ball shall then be back-filled with surrounding topsoil mix (as elsewhere specified and on completion of planting base of each stem shall finish level with top surface of soil. Dish shall be formed in soil around base of each plant to aid in

Trees to be staked shall be staked as indicated on plant schedule. Stakes shall be 38 x 38 x 1800mm long approved hardwood stakes, pointed at one end. Stakes shall be driven into ground a minimum of one third of their length or until firm, avoiding damage to root system of adjacent tree. Nominal 50mm wide hessian ties shall be fixed in figure of eight pattern to loosely secure trees to stakes at positions along trunk, so as to prevent damage to tree and to generally stabilise.

10. Mulching: shall mean complete supply and installation of: A. Nom. 75mm depth of approved 25mm garden mulch suitable for childcare centres from australian native landscapes ph: 9450 1444), to all garden areas following completion of planting. Cove mulch down to finish flush with containing edges and reduce to 25mm thick around base of stem of each plant.

- 11.Completion: Prior to completion, contractor shall make good any damaged areas. Contractor shall leave areas over which contractor has worked in tidy condition and to satisfaction of landscape architect. Contractor shall be responsible for removal from site of all unwanted material and debris resulting from this work.
- **12.Maintenance:** Contractor shall maintain site for a period of 12 months- refer to maintenance schedule.

