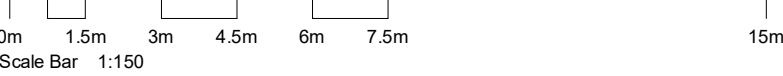


Development Application

NOT For Construction



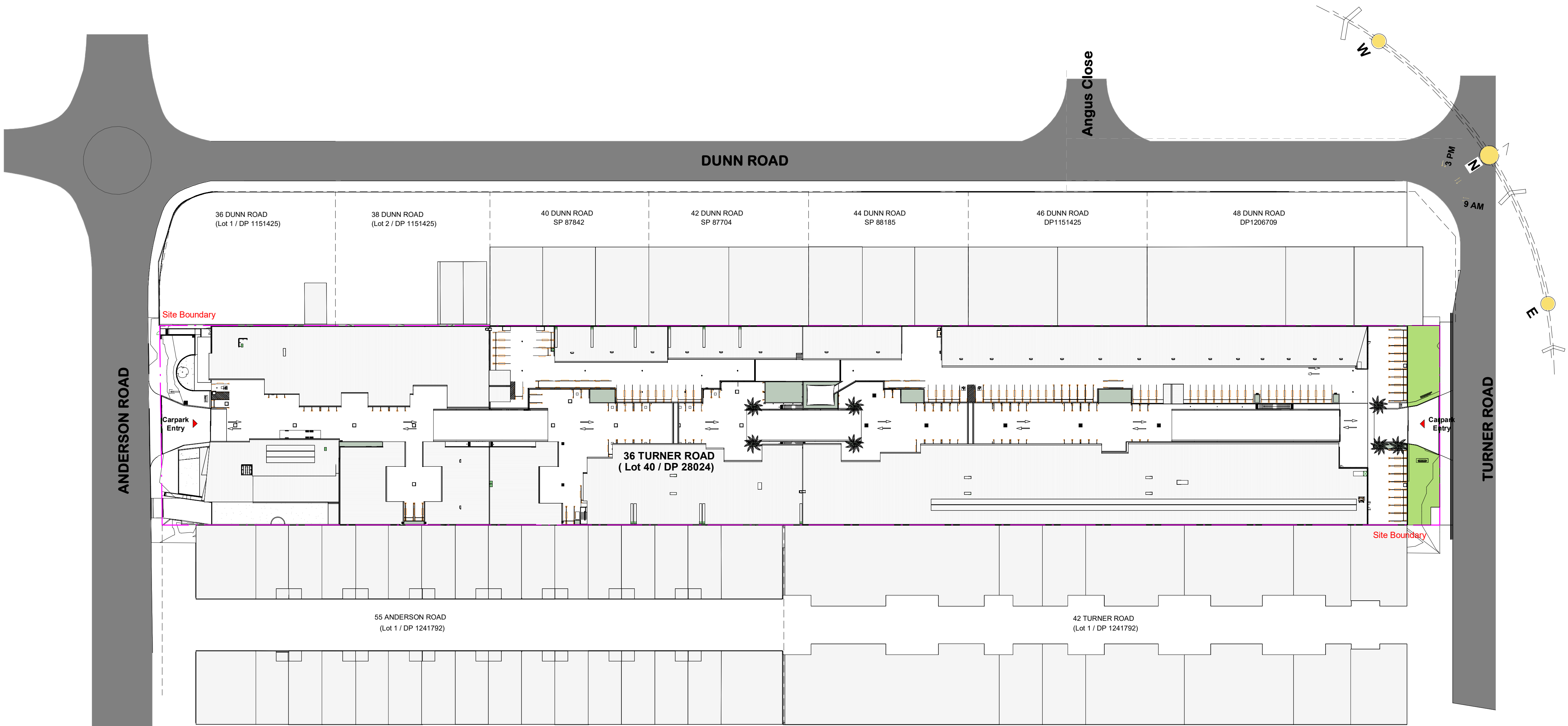
**General Notes:**

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY.LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD)

Levels Prefixed With "RL" Are Interpreted From Existing Survey Information. Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.



B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
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Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title  
Site Plan

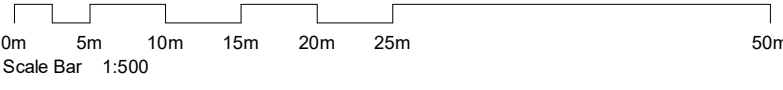
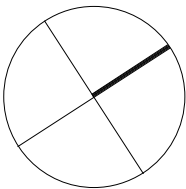
Scale	A1 @	As indicated	Date	September 2022
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JOB No.	DWG No.
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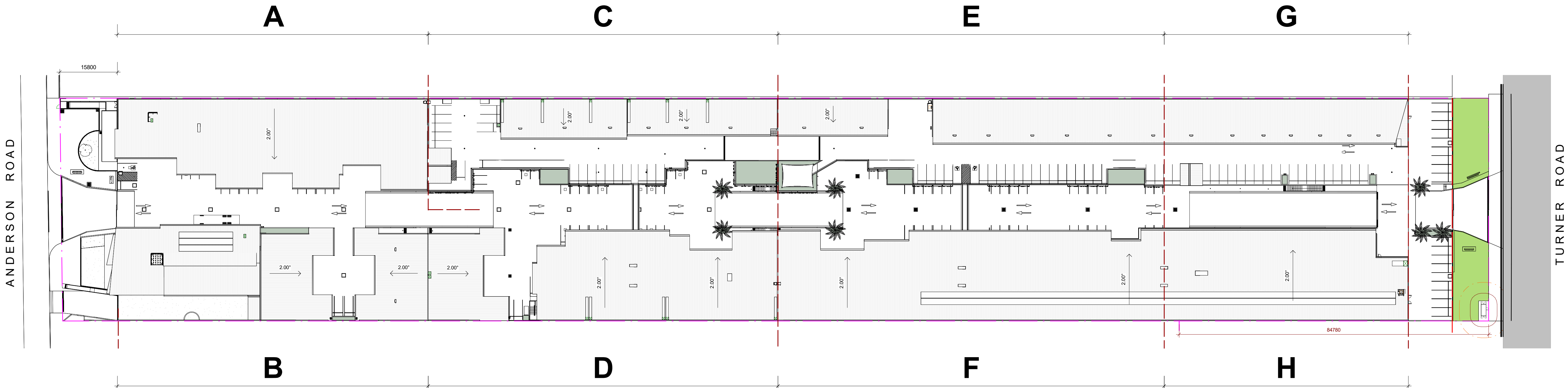
BVR422 DA.010 B

Development Application

NOT For Construction



Solar panel zone: 1120m².  
\*Mechanical and solar panel locations to be confirmed at Construction Certificate Stage



B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
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Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title  
Proposed GA Plan - Overall Site

Scale	A1 @	As indicated	Date	September 2022
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JOB No.	DWG No.
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BVR422 DA.100 B

General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD)

Levels Prefixed With 'RL' Are Interpreted From Existing Survey Information. Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

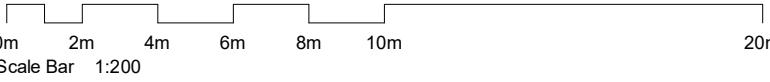
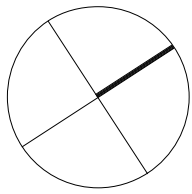
All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.





Key Plan

Development Application



Code	Description
FHR	Fire Hose Reel (Installation To Comply To AS2441)
IGA1	In ground grease arrester 1500 ltrs
IGA2	In ground grease arrester 2000 ltrs
SWP	Stormwater Pit - Refer To Civil Engineers Drawings

INDUSTRIAL SCHEDULE  
Podium 1 - Podium 1 Mezzanine

Level	Name	Number	Area
Podium 1	TAKEAWAY FOOD AND DRINKS	1	159 m <sup>2</sup>
Podium 1 Mezzanine	Site Office	1A	75 m <sup>2</sup>
Podium 1	LIGHT INDUSTRY UNIT	2	161 m <sup>2</sup>
Podium 1 Mezzanine	LIGHT INDUSTRY MEZZ OFFICE	2	45 m <sup>2</sup>
Podium 1	LIGHT INDUSTRY UNIT	3	196 m <sup>2</sup>
Podium 1 Mezzanine	LIGHT INDUSTRY MEZZ OFFICE	3	44 m <sup>2</sup>
Podium 1	LIGHT INDUSTRY UNIT	5	196 m <sup>2</sup>
Podium 1 Mezzanine	LIGHT INDUSTRY MEZZ OFFICE	5	44 m <sup>2</sup>
Podium 1	LIGHT INDUSTRY UNIT	6	143 m <sup>2</sup>
Podium 1 Mezzanine	LIGHT INDUSTRY MEZZ OFFICE	6	52 m <sup>2</sup>
Podium 1	LIGHT INDUSTRY UNIT	7	196 m <sup>2</sup>
Podium 1 Mezzanine	LIGHT INDUSTRY MEZZ OFFICE	7	44 m <sup>2</sup>
Podium 1	LIGHT INDUSTRY UNIT	8	144 m <sup>2</sup>
Podium 1 Mezzanine	LIGHT INDUSTRY MEZZ OFFICE	8	56 m <sup>2</sup>
Podium 1	LIGHT INDUSTRY UNIT	9	194 m <sup>2</sup>
Podium 1 Mezzanine	LIGHT INDUSTRY MEZZ OFFICE	9	46 m <sup>2</sup>
Podium 1	LIGHT INDUSTRY UNIT	10	147 m <sup>2</sup>
Podium 1 Mezzanine	LIGHT INDUSTRY MEZZ OFFICE	10	52 m <sup>2</sup>
Podium 1	LIGHT INDUSTRY UNIT	11	308 m <sup>2</sup>
Podium 1 Mezzanine	LIGHT INDUSTRY MEZZ OFFICE	11	89 m <sup>2</sup>
Podium 1	LIGHT INDUSTRY UNIT	12	148 m <sup>2</sup>
Podium 1 Mezzanine	LIGHT INDUSTRY MEZZ OFFICE	12	56 m <sup>2</sup>

D	Issue for Council	27.09.2022
C	Issue for Council Review	15.09.2022
B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
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Toth & Partners Pty Ltd

6/60 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title  
Proposed Podium 1 Anderson Rd

Scale A1 @ As indicated Date September 2022

JOB No. BVR422 DWG No. DA.101 D

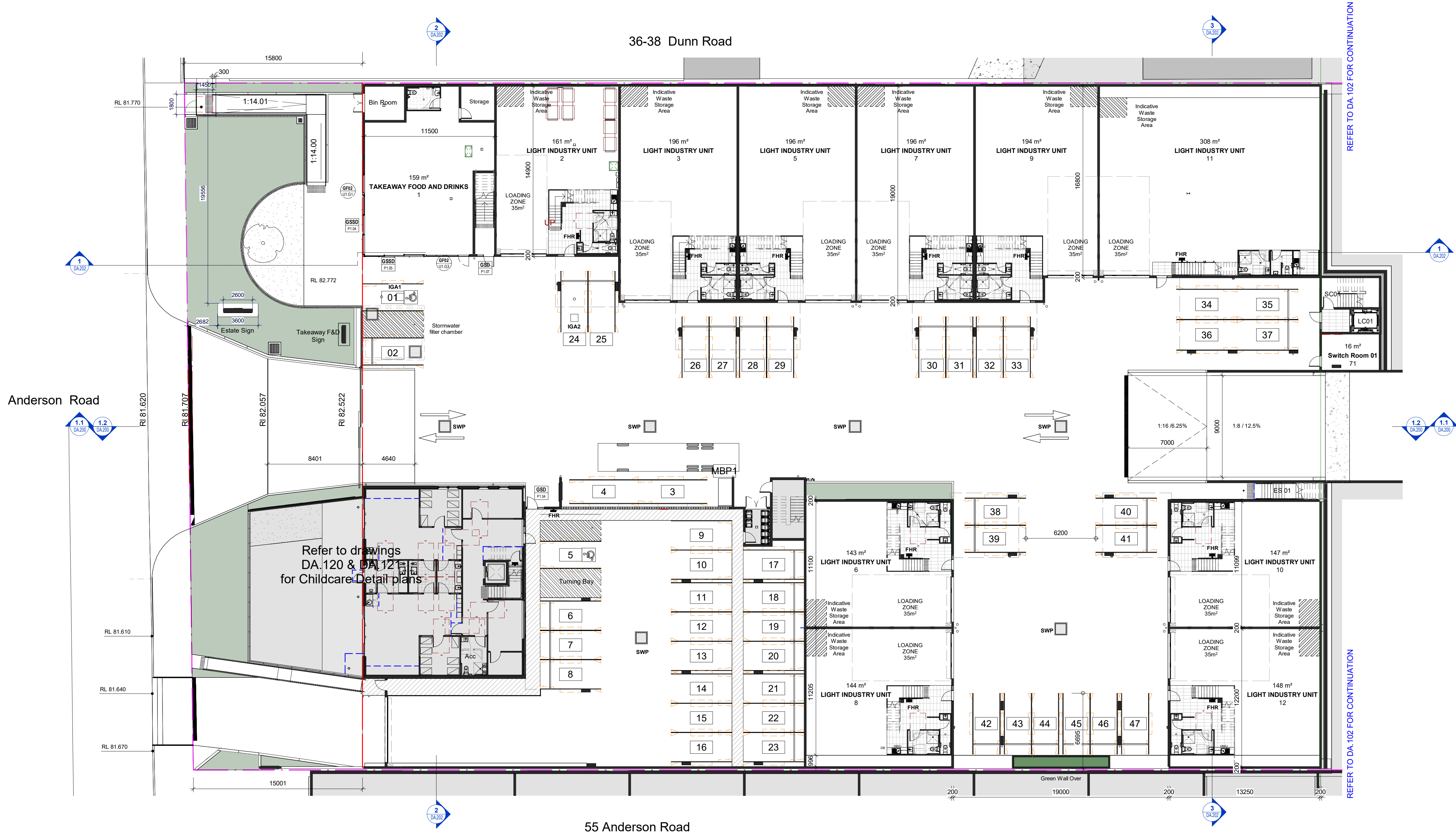
General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

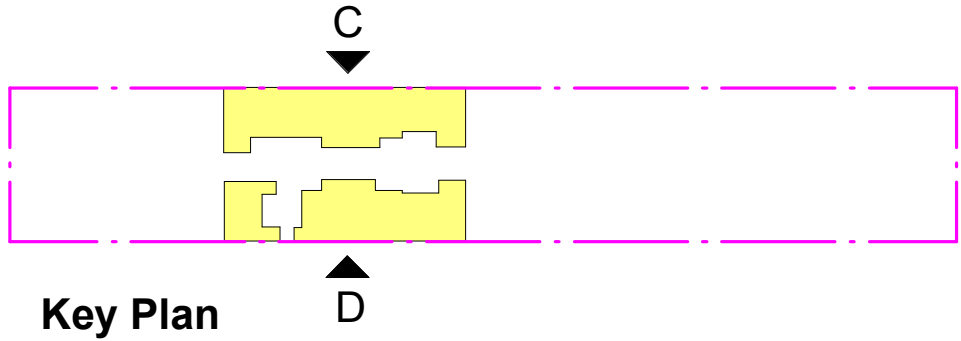
Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD).

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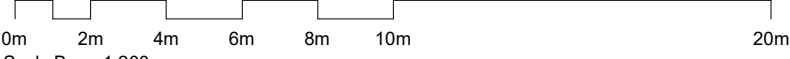
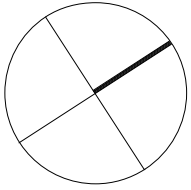
All Dimensions to be Verified On Site (VOS) Prior To Construction / Manufacture.







Development Application



INDUSTRIAL SCHEDULE  
Podium 2 - Podium 2 Mezzanine

Level	Name	Number	Area
Podium 2	LIGHT INDUSTRY UNIT	13	334 m²
Podium 2 Mezzanine	INDUSTRIAL MEZZ	13	69 m²
			404 m²
Podium 2	LIGHT INDUSTRY UNIT	14	154 m²
Podium 2 Mezzanine	INDUSTRIAL MEZZ	14	52 m²
			207 m²
Podium 2	LIGHT INDUSTRY UNIT	15	161 m²
Podium 2 Mezzanine	INDUSTRIAL MEZZ	15	58 m²
			219 m²
Podium 2	LIGHT INDUSTRY UNIT	16	170 m²
Podium 2 Mezzanine	INDUSTRIAL MEZZ	16	43 m²
			212 m²
Podium 2	LIGHT INDUSTRY UNIT	17	247 m²
Podium 2 Mezzanine	INDUSTRIAL MEZZ	17	43 m²
			290 m²
Podium 2	LIGHT INDUSTRY UNIT	18	246 m²
Podium 2 Mezzanine	INDUSTRIAL MEZZ	18	43 m²
			290 m²
Podium 2	LIGHT INDUSTRY UNIT	19	196 m²
Podium 2 Mezzanine	INDUSTRIAL MEZZ	19	40 m²
			236 m²
Podium 2	LIGHT INDUSTRY UNIT	20	196 m²
Podium 2 Mezzanine	INDUSTRIAL MEZZ	20	40 m²
			236 m²
Podium 2	LIGHT INDUSTRY UNIT	21	196 m²
Podium 2 Mezzanine	INDUSTRIAL MEZZ	21	41 m²
			237 m²
Podium 2	LIGHT INDUSTRY UNIT	22	196 m²
Podium 2 Mezzanine	INDUSTRIAL MEZZ	22	41 m²
			237 m²
Podium 2	LIGHT INDUSTRY UNIT	23	161 m²
Podium 2 Mezzanine	INDUSTRIAL MEZZ	23	43 m²
			204 m²
Podium 2	LIGHT INDUSTRY UNIT	24	161 m²
Podium 2 Mezzanine	INDUSTRIAL MEZZ	24	43 m²
			204 m²
Podium 2	LIGHT INDUSTRY UNIT	25	306 m²
Podium 2 Mezzanine	INDUSTRIAL MEZZ	25	84 m²
			390 m²
Podium 2	LIGHT INDUSTRY UNIT	26	306 m²
Podium 2 Mezzanine	INDUSTRIAL MEZZ	26	84 m²
			390 m²
			3754 m²

Code	Description
BTFW	Bucket Trap Floor Waste
FHD	Fire Hydrant Double - Refer To Hydraulic Engineers Details
FHR	Fire Hose Reel (Installation To Comply To AS2441)
IGA1	In ground grease arrester 1500 ltrs
IGA2	In ground grease arrester 2000 ltrs
SWP	Stormwater Pit - Refer To Civil Engineers Drawings

D	Issue for Council	27.09.2022
C	Issue for Council Review	15.09.2022
B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
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Toth & Partners Pty Ltd

6/60 Kurraba Road Neutral Bay NSW 2089  
BDA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title  
Proposed Podium 2 Anderson Rd

Scale	A1 @	As indicated	Date	September 2022
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JOB No. DWG No.

BVR422 DA.102 D

General Notes:

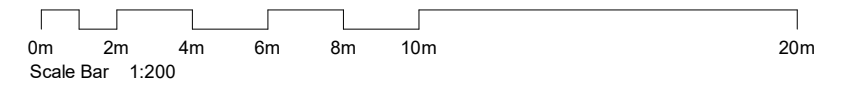
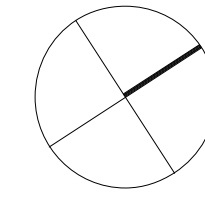
Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD)

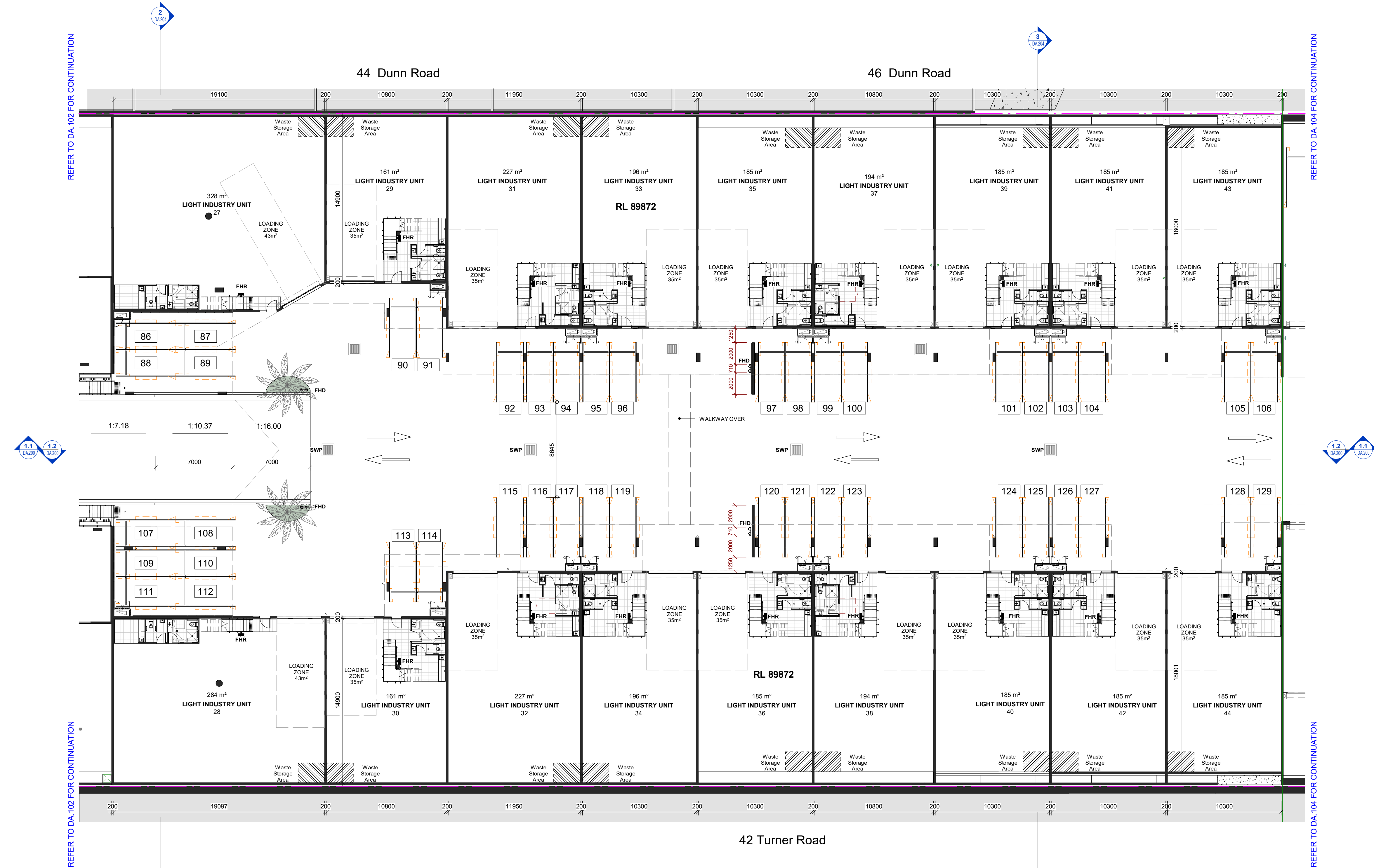
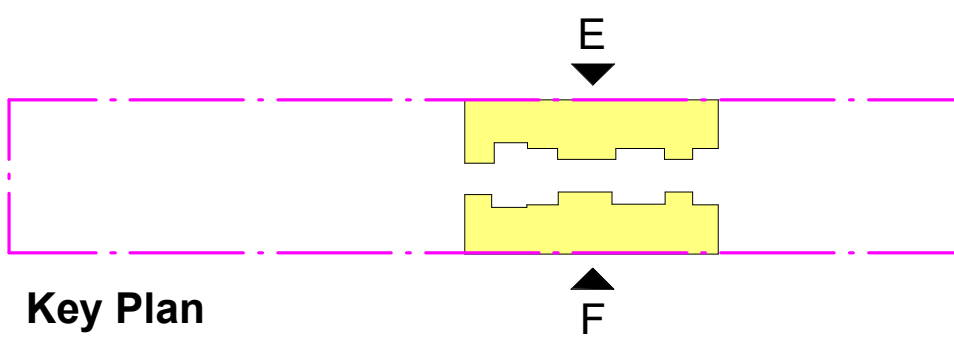
Levels Prefixed With 'RL' Are Interpreted From Existing Survey Information. Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.





## Key Plan



Code	Description
FHD	Fire Hydrant Double - Refer To Hydraulic Engineers Details
FHR	Fire Hose Reel (Installation To Comply To AS2441)
SWP	Stormwater Pit - Refer To Civil Engineers Drawings

D	Issue for Council	27.09.2022
C	Issue for Council Review	15.09.2022
B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
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**Toth & Partners** Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title

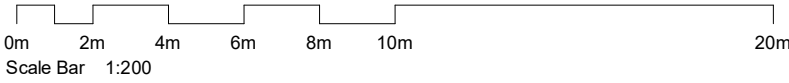
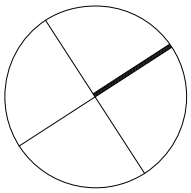
Proposed Podium 3 Anderson Rd

Scale	A1 @ As indicated	Date	September 2022
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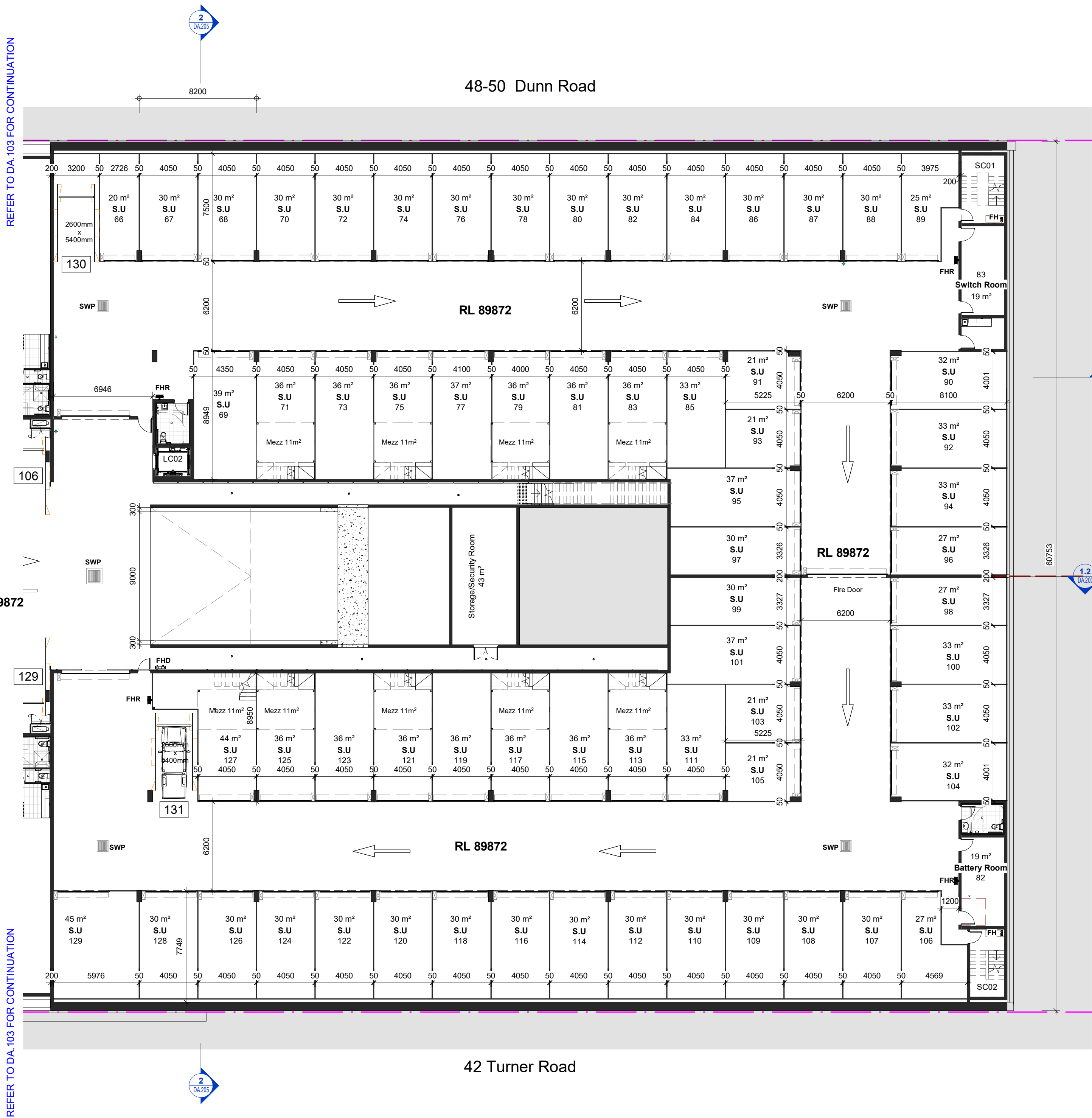
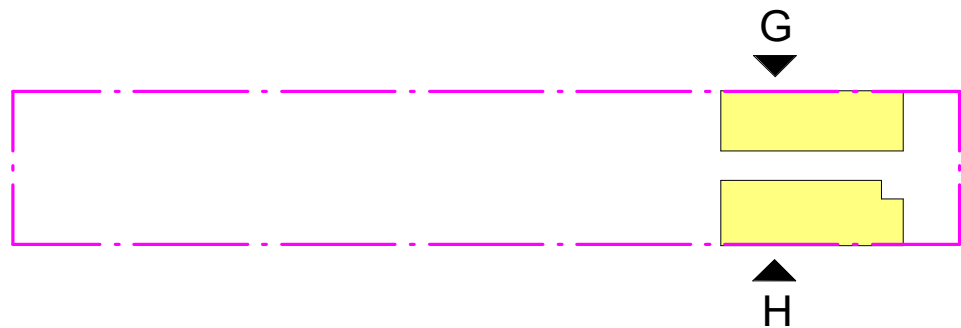
JOB No. \_\_\_\_\_ DWG No. \_\_\_\_\_

BVR422 DA.103 D

Development Application



Key Plan



STORAGE SCHEDULE Podium 3 Basement Storage			
Level	Name	Number	Area
Podium 3 and Basement Storage	LC02	0.69	5 m²
Podium 3 and Basement Storage	Storage/Security Room	18	43 m²
Podium 3 and Basement Storage	S.U.	66	20 m²
Podium 3 and Basement Storage	S.U.	67	30 m²
Podium 3 and Basement Storage	S.U.	68	30 m²
Podium 3 and Basement Storage	S.U.	69	39 m²
Podium 3 and Basement Storage	S.U.	70	30 m²
Podium 3 and Basement Storage	S.U.	71	36 m²
Podium 3 and Basement Storage	S.U.	72	30 m²
Podium 3 and Basement Storage	S.U.	73	36 m²
Podium 3 and Basement Storage	S.U.	74	30 m²
Podium 3 and Basement Storage	S.U.	75	36 m²
Podium 3 and Basement Storage	S.U.	76	30 m²
Podium 3 and Basement Storage	S.U.	77	37 m²
Podium 3 and Basement Storage	S.U.	78	30 m²
Podium 3 and Basement Storage	S.U.	79	36 m²
Podium 3 and Basement Storage	S.U.	80	30 m²
Podium 3 and Basement Storage	S.U.	81	36 m²
Podium 3 and Basement Storage	S.U.	82	30 m²
Podium 3 and Basement Storage	S.U.	83	36 m²
Podium 3 and Basement Storage	S.U.	84	30 m²
Podium 3 and Basement Storage	S.U.	85	33 m²
Podium 3 and Basement Storage	S.U.	86	30 m²
Podium 3 and Basement Storage	S.U.	87	30 m²
Podium 3 and Basement Storage	S.U.	88	30 m²
Podium 3 and Basement Storage	S.U.	89	25 m²
Podium 3 and Basement Storage	S.U.	90	32 m²
Podium 3 and Basement Storage	S.U.	91	21 m²
Podium 3 and Basement Storage	S.U.	92	33 m²
Podium 3 and Basement Storage	S.U.	93	21 m²
Podium 3 and Basement Storage	S.U.	94	33 m²
Podium 3 and Basement Storage	S.U.	95	37 m²
Podium 3 and Basement Storage	S.U.	96	27 m²
Podium 3 and Basement Storage	S.U.	97	30 m²

STORAGE SCHEDULE Podium 3 Basement Storage			
Level	Name	Number	Area
Podium 3 and Basement Storage	S.U.	98	27 m²
Podium 3 and Basement Storage	S.U.	99	30 m²
Podium 3 and Basement Storage	S.U.	100	33 m²
Podium 3 and Basement Storage	S.U.	101	37 m²
Podium 3 and Basement Storage	S.U.	102	33 m²
Podium 3 and Basement Storage	S.U.	103	21 m²
Podium 3 and Basement Storage	S.U.	104	32 m²
Podium 3 and Basement Storage	S.U.	105	21 m²
Podium 3 and Basement Storage	S.U.	106	27 m²
Podium 3 and Basement Storage	S.U.	107	30 m²
Podium 3 and Basement Storage	S.U.	108	30 m²
Podium 3 and Basement Storage	S.U.	109	30 m²
Podium 3 and Basement Storage	S.U.	110	30 m²
Podium 3 and Basement Storage	S.U.	111	33 m²
Podium 3 and Basement Storage	S.U.	112	30 m²
Podium 3 and Basement Storage	S.U.	113	36 m²
Podium 3 and Basement Storage	S.U.	114	30 m²
Podium 3 and Basement Storage	S.U.	115	36 m²
Podium 3 and Basement Storage	S.U.	116	30 m²
Podium 3 and Basement Storage	S.U.	117	36 m²
Podium 3 and Basement Storage	S.U.	118	30 m²
Podium 3 and Basement Storage	S.U.	119	36 m²
Podium 3 and Basement Storage	S.U.	120	30 m²
Podium 3 and Basement Storage	S.U.	121	36 m²
Podium 3 and Basement Storage	S.U.	122	30 m²
Podium 3 and Basement Storage	S.U.	123	36 m²
Podium 3 and Basement Storage	S.U.	124	30 m²
Podium 3 and Basement Storage	S.U.	125	36 m²
Podium 3 and Basement Storage	S.U.	126	30 m²
Podium 3 and Basement Storage	S.U.	127	44 m²
Podium 3 and Basement Storage	S.U.	128	30 m²
Podium 3 and Basement Storage	S.U.	129	45 m²
			2074 m²

S.U. = STORAGE PREMISES

C	Issue for Council	27.09.2022
B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
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Toth & Partners Pty Ltd

6/60 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title

Proposed Podium 3 Basement Storage

Scale	A1 @	As indicated	Date	September 2022
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JOB No. DWG No.

BVR422

DA.104 C

General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

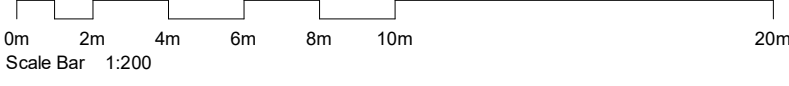
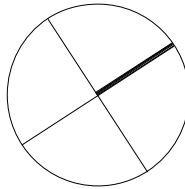
Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD)

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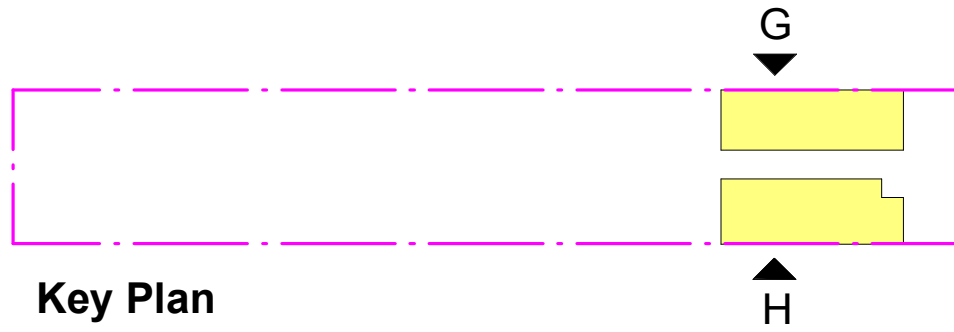
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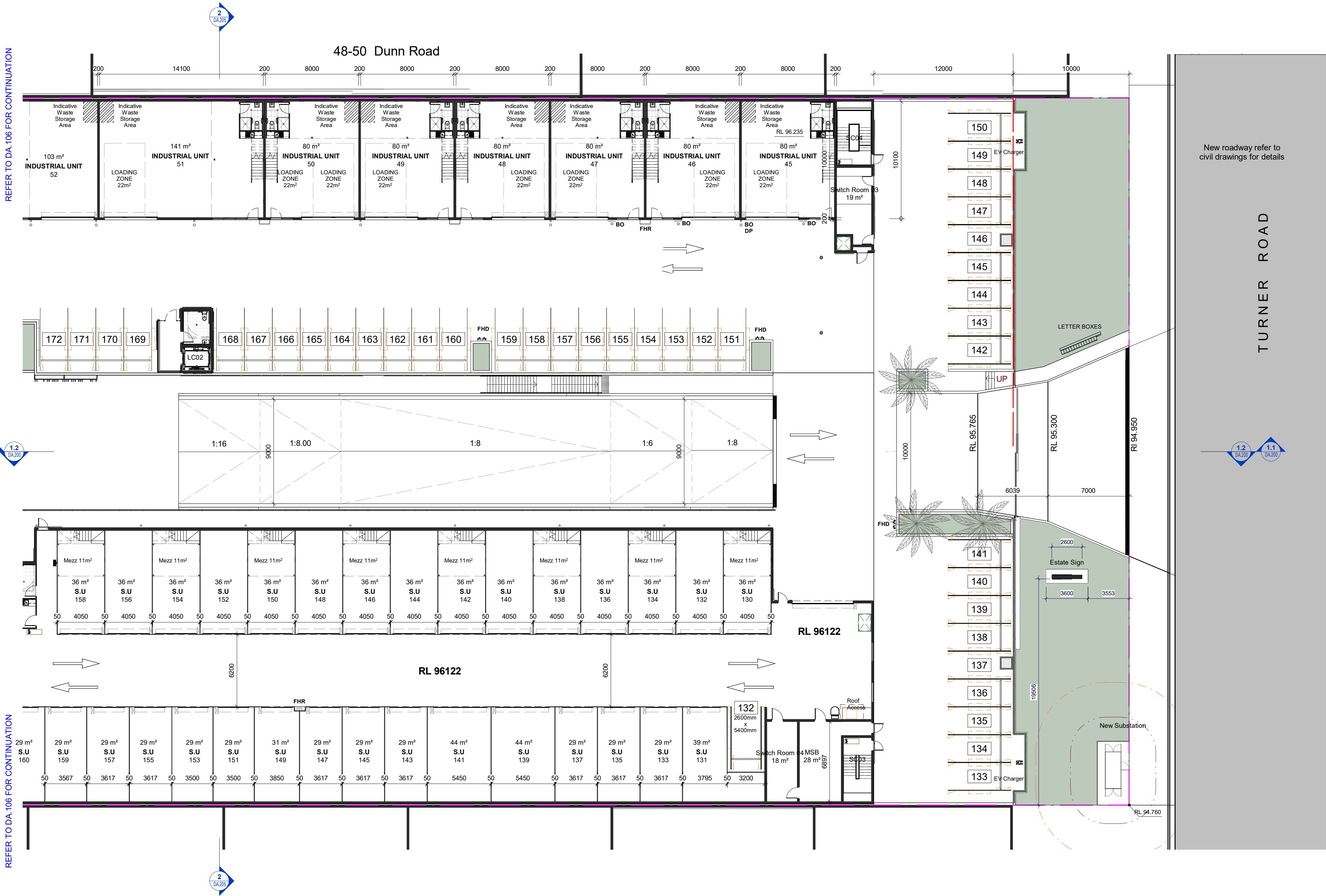
Development Application



Key Plan



REFER TO DA 106 FOR CONTINUATION



REFER TO DA 106 FOR CONTINUATION

INDUSTRIAL SCHEDULE Podium 4 - Part 1-Part 2			
Level	Name	Number	Area
Podium 4 - Part 1 and Part 2	INDUSTRIAL UNIT	45	80 m <sup>2</sup>
Podium 4 - Part 1 and Part 2 Mezzanine	LIGHT INDUSTRY MEZZ	45	43 m <sup>2</sup>
			123 m <sup>2</sup>

Podium 4 - Part 1 and Part 2	INDUSTRIAL UNIT	46	80 m <sup>2</sup>
Podium 4 - Part 1 and Part 2 Mezzanine	LIGHT INDUSTRY MEZZ	46	26 m <sup>2</sup>
			106 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	INDUSTRIAL UNIT	47	80 m <sup>2</sup>
Podium 4 - Part 1 and Part 2 Mezzanine	LIGHT INDUSTRY MEZZ	47	25 m <sup>2</sup>
			105 m <sup>2</sup>

Podium 4 - Part 1 and Part 2	INDUSTRIAL UNIT	48	80 m <sup>2</sup>
Podium 4 - Part 1 and Part 2 Mezzanine	LIGHT INDUSTRY MEZZ	48	25 m <sup>2</sup>
			105 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	INDUSTRIAL UNIT	49	80 m <sup>2</sup>
Podium 4 - Part 1 and Part 2 Mezzanine	LIGHT INDUSTRY MEZZ	49	25 m <sup>2</sup>
			105 m <sup>2</sup>

Podium 4 - Part 1 and Part 2	INDUSTRIAL UNIT	50	80 m <sup>2</sup>
Podium 4 - Part 1 and Part 2 Mezzanine	LIGHT INDUSTRY MEZZ	50	25 m <sup>2</sup>
			105 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	INDUSTRIAL UNIT	51	141 m <sup>2</sup>
Podium 4 - Part 1 and Part 2 Mezzanine	LIGHT INDUSTRY MEZZ	51	39 m <sup>2</sup>
			180 m <sup>2</sup>

STORAGE SCHEDULE Podium 4 - Part 1 - Part 2			
Level	Name	Number	Area
Podium 4 - Part 1 and Part 2 Mezzanine	STORAGE MEZZ	1G	11 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	Switch Room 03	81	19 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	MSB	86	28 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	Switch Room 04	87	18 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	S.U.	130	36 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	S.U.	131	39 m <sup>2</sup>
Podium 4 - Part 1 and Part 2 Mezzanine	STORAGE MEZZ	131	11 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	S.U.	132	36 m <sup>2</sup>
Podium 4 - Part 1 and Part 2 Mezzanine	STORAGE MEZZ	133	11 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	S.U.	134	36 m <sup>2</sup>
Podium 4 - Part 1 and Part 2 Mezzanine	STORAGE MEZZ	135	11 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	S.U.	136	36 m <sup>2</sup>
Podium 4 - Part 1 and Part 2 Mezzanine	STORAGE MEZZ	137	11 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	S.U.	138	36 m <sup>2</sup>
Podium 4 - Part 1 and Part 2 Mezzanine	STORAGE MEZZ	139	11 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	S.U.	140	36 m <sup>2</sup>
Podium 4 - Part 1 and Part 2 Mezzanine	STORAGE MEZZ	141	11 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	S.U.	142	36 m <sup>2</sup>
Podium 4 - Part 1 and Part 2 Mezzanine	STORAGE MEZZ	143	11 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	S.U.	144	36 m <sup>2</sup>
Podium 4 - Part 1 and Part 2 Mezzanine	STORAGE MEZZ	145	11 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	S.U.	146	36 m <sup>2</sup>
Podium 4 - Part 1 and Part 2 Mezzanine	STORAGE MEZZ	147	29 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	S.U.	148	36 m <sup>2</sup>
Podium 4 - Part 1 and Part 2 Mezzanine	STORAGE MEZZ	149	31 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	S.U.	150	36 m <sup>2</sup>
Podium 4 - Part 1 and Part 2 Mezzanine	STORAGE MEZZ	151	29 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	S.U.	152	36 m <sup>2</sup>
Podium 4 - Part 1 and Part 2 Mezzanine	STORAGE MEZZ	153	29 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	S.U.	154	36 m <sup>2</sup>
Podium 4 - Part 1 and Part 2 Mezzanine	STORAGE MEZZ	155	29 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	S.U.	156	36 m <sup>2</sup>
Podium 4 - Part 1 and Part 2 Mezzanine	STORAGE MEZZ	157	29 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	S.U.	158	36 m <sup>2</sup>
Podium 4 - Part 1 and Part 2 Mezzanine	STORAGE MEZZ	159	29 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	S.U.	160	29 m <sup>2</sup>
Podium 4 - Part 1 and Part 2 Mezzanine	STORAGE MEZZ	161	29 m <sup>2</sup>

S.U. = STORAGE PREMISES

D	Issue for Council	27.09.2022
C	Issue for Council Review	15.09.2022
B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
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Toth & Partners Pty Ltd

6/60 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange, NSW 2567

Title

Proposed Podium 4 – Part 1 Turner Rd

Scale	A1 @	As indicated	Date	September 2022
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JOB No. DWG No.

BVR422

DA.105 D

General Notes:

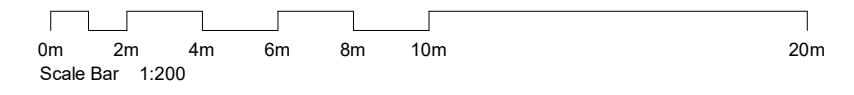
Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD)

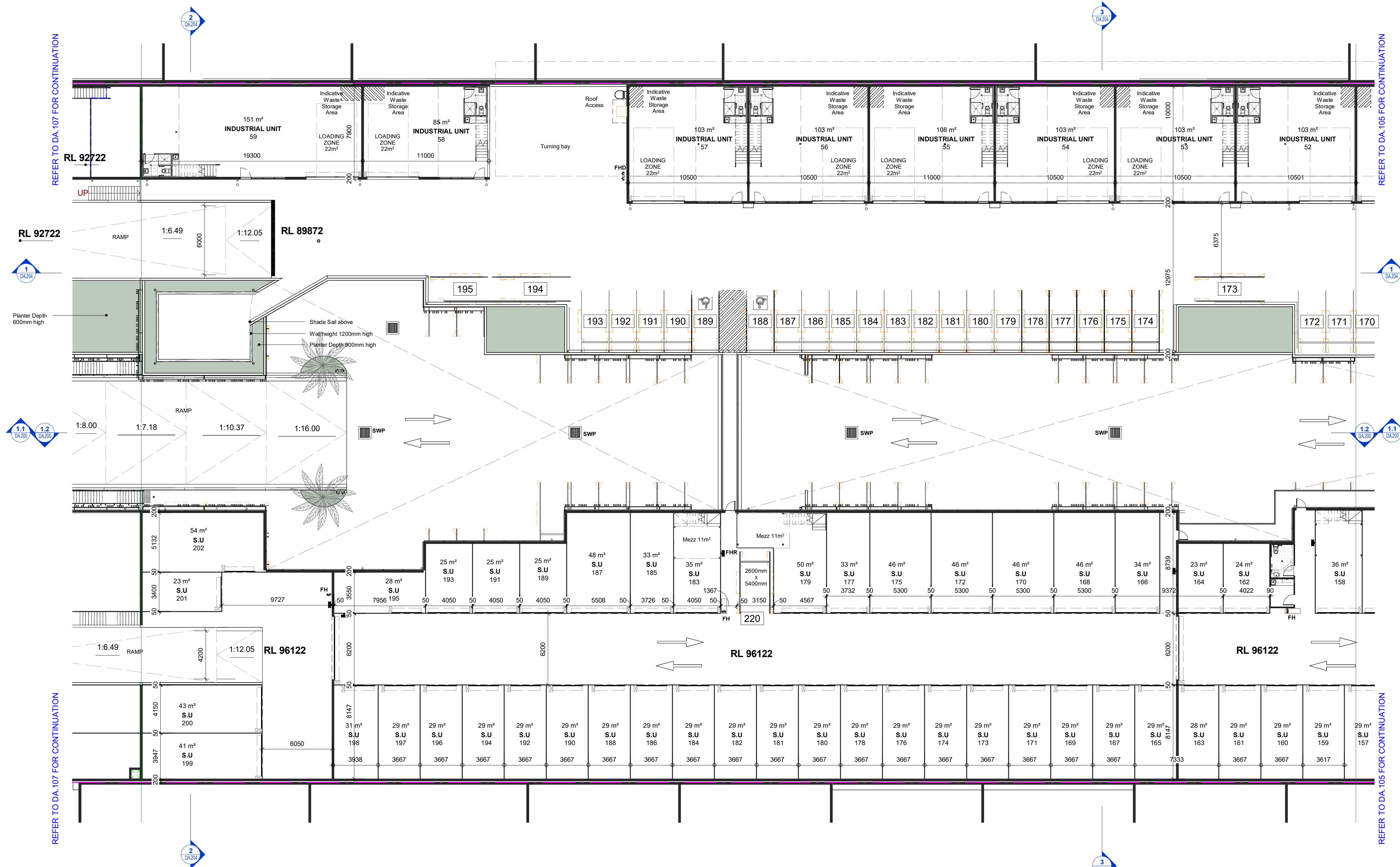
Levels Prefixed With 'RL' Are Interpreted From Existing Survey Information. Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions To Be Verified On Site (VOS) Prior To Construction / Manufacture.





E



INDUSTRIAL SCHEDULE Podium 4 - Part 1-Part 2				STORAGE SCHEDULE Podium 4 - Part 1 - Part 2			
Level	Name	Number	Area	Level	Name	Number	Area
Podium 4 - Part 1 and Part 2	INDUSTRIAL UNIT	52	103 m <sup>2</sup>	Podium 4 - Part 1 and Part 2	S.U	162	24 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	INDUSTRIAL MEZZ	52	39 m <sup>2</sup>	Podium 4 - Part 1 and Part 2	S.U	163	28 m <sup>2</sup>
				Podium 4 - Part 1 and Part 2	S.U	164	23 m <sup>2</sup>
				Podium 4 - Part 1 and Part 2	S.U	165	29 m <sup>2</sup>
				Podium 4 - Part 1 and Part 2	S.U	166	34 m <sup>2</sup>
			142 m <sup>2</sup>	Podium 4 - Part 1 and Part 2	S.U	167	29 m <sup>2</sup>
				Podium 4 - Part 1 and Part 2	S.U	168	46 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	INDUSTRIAL UNIT	53	103 m <sup>2</sup>	Podium 4 - Part 1 and Part 2	S.U	169	29 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	INDUSTRIAL MEZZ	53	39 m <sup>2</sup>	Podium 4 - Part 1 and Part 2	S.U	170	46 m <sup>2</sup>
				Podium 4 - Part 1 and Part 2	S.U	171	29 m <sup>2</sup>
				Podium 4 - Part 1 and Part 2	S.U	172	46 m <sup>2</sup>
			142 m <sup>2</sup>	Podium 4 - Part 1 and Part 2	S.U	173	29 m <sup>2</sup>
				Podium 4 - Part 1 and Part 2	S.U	174	29 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	INDUSTRIAL UNIT	54	103 m <sup>2</sup>	Podium 4 - Part 1 and Part 2	S.U	175	46 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	INDUSTRIAL MEZZ	54	39 m <sup>2</sup>	Podium 4 - Part 1 and Part 2	S.U	176	29 m <sup>2</sup>
				Podium 4 - Part 1 and Part 2	S.U	177	33 m <sup>2</sup>
				Podium 4 - Part 1 and Part 2	S.U	178	29 m <sup>2</sup>
			142 m <sup>2</sup>	Podium 4 - Part 1 and Part 2	S.U	179	50 m <sup>2</sup>
				Podium 4 - Part 1 and Part 2	S.U	180	29 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	INDUSTRIAL UNIT	55	108 m <sup>2</sup>	Podium 4 - Part 1 and Part 2	S.U	181	29 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	INDUSTRIAL MEZZ	55	39 m <sup>2</sup>	Podium 4 - Part 1 and Part 2	S.U	182	29 m <sup>2</sup>
				Podium 4 - Part 1 and Part 2	S.U	183	35 m <sup>2</sup>
			147 m <sup>2</sup>	Podium 4 - Part 1 and Part 2	S.U	184	29 m <sup>2</sup>
				Podium 4 - Part 1 and Part 2	STORAGE MEZZ	184	11 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	INDUSTRIAL UNIT	56	103 m <sup>2</sup>	Podium 4 - Part 1 and Part 2	S.U	185	33 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	INDUSTRIAL MEZZ	56	39 m <sup>2</sup>	Podium 4 - Part 1 and Part 2	S.U	186	29 m <sup>2</sup>
				Podium 4 - Part 1 and Part 2	S.U	187	48 m <sup>2</sup>
				Podium 4 - Part 1 and Part 2	S.U	188	29 m <sup>2</sup>
				Podium 4 - Part 1 and Part 2	S.U	189	25 m <sup>2</sup>
			142 m <sup>2</sup>	Podium 4 - Part 1 and Part 2	S.U	190	29 m <sup>2</sup>
				Podium 4 - Part 1 and Part 2	S.U	191	25 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	INDUSTRIAL UNIT	57	103 m <sup>2</sup>	Podium 4 - Part 1 and Part 2	S.U	192	29 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	INDUSTRIAL MEZZ	57	39 m <sup>2</sup>	Podium 4 - Part 1 and Part 2	S.U	193	25 m <sup>2</sup>
				Podium 4 - Part 1 and Part 2	S.U	194	29 m <sup>2</sup>
				Podium 4 - Part 1 and Part 2	S.U	195	28 m <sup>2</sup>
			142 m <sup>2</sup>	Podium 4 - Part 1 and Part 2	S.U	196	29 m <sup>2</sup>
				Podium 4 - Part 1 and Part 2	S.U	197	29 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	INDUSTRIAL UNIT	58	85 m <sup>2</sup>	Podium 4 - Part 1 and Part 2	S.U	198	31 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	INDUSTRIAL MEZZ	58	30 m <sup>2</sup>	Podium 4 - Part 1 and Part 2	S.U	199	41 m <sup>2</sup>
				Podium 4 - Part 1 and Part 2	S.U	200	43 m <sup>2</sup>
			115 m <sup>2</sup>	Podium 4 - Part 1 and Part 2	S.U	201	23 m <sup>2</sup>
				Podium 4 - Part 1 and Part 2	S.U	202	54 m <sup>2</sup>
							2609 m <sup>2</sup>
Podium 4 - Part 1 and Part 2	INDUSTRIAL UNIT	59	151 m <sup>2</sup>	S.U = STORAGE PREMISES			
Podium 4 - Part 1 and Part 2	INDUSTRIAL MEZZ	59	25 m <sup>2</sup>				

**S.U = STORAGE PREMISES**

C	Issue for Council Review	15.09.2022
B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
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**Toth & Partners** Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title

Proposed Podium 4 – Part 2 Turner Rd

Scale	A1 @ As indicated	Date	September 2022
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BVR422 DA.106 C

**General Notes:**

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

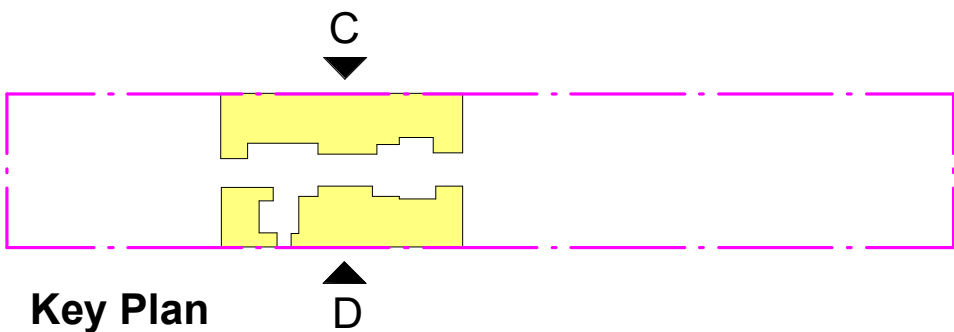
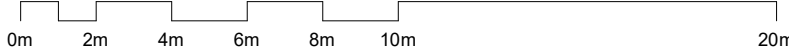
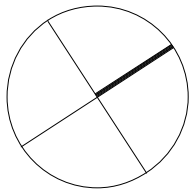
Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - **242-20SP**. All Levels Indicated Taken To Australian Height Datum (AHD)

Levels Prefixed With \*RL. Are Interpreted From Existing Survey Information. Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

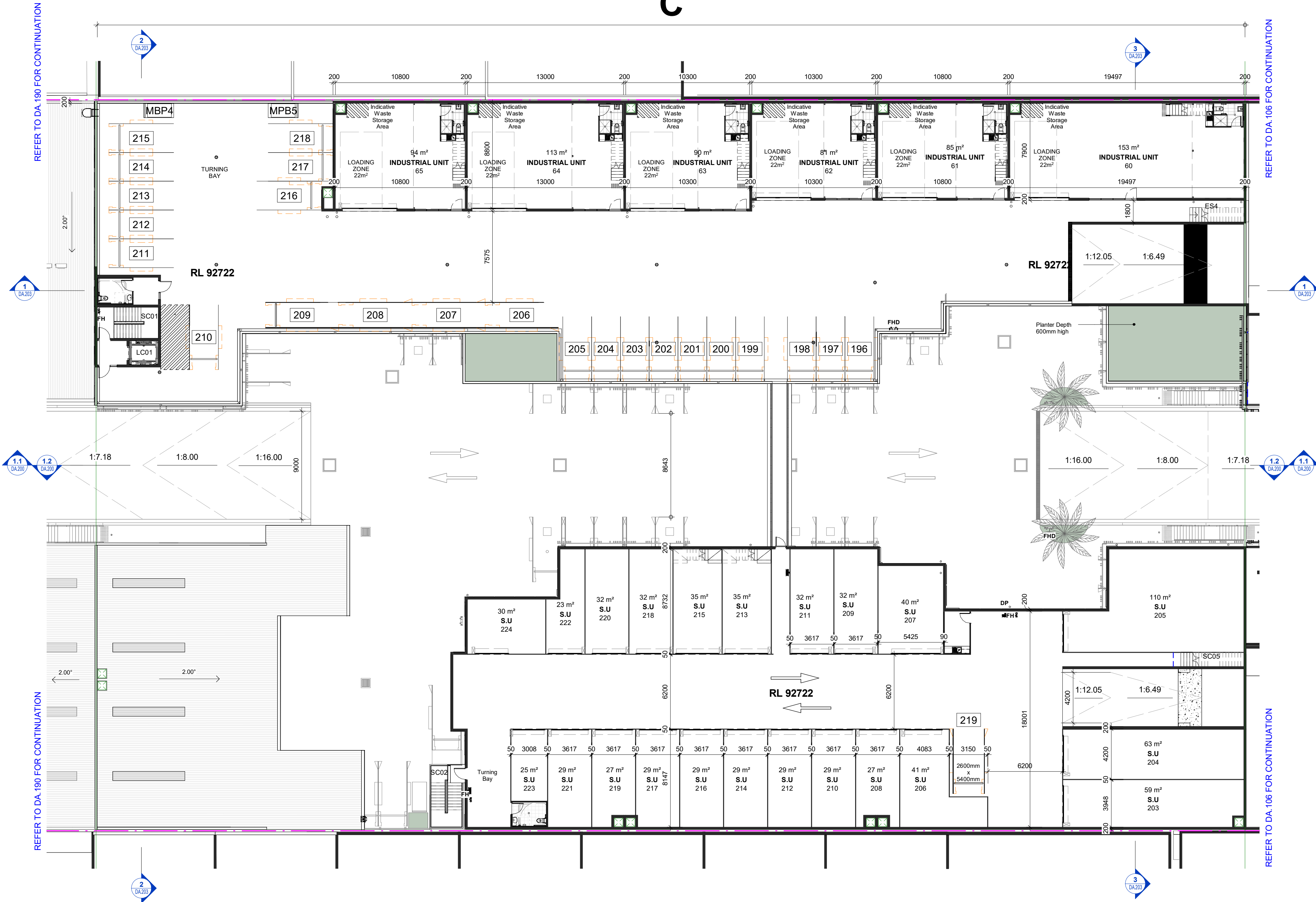
**All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.**

Development Application

PRELIMINARY ISSUE L 29.03.2022



Key Plan



INDUSTRIAL SCHEDULE Podium 4 - Part 3 - Part 3 Mezzanine			
Level	Name	Number	Area

Podium 4 - Part 3	INDUSTRIAL UNIT	60	153 m <sup>2</sup>
Podium 4 - Part 3 Mezzanine	LIGHT INDUSTRY MEZZ	60	33 m <sup>2</sup>
			186 m <sup>2</sup>

Podium 4 - Part 3	INDUSTRIAL UNIT	61	85 m <sup>2</sup>
Podium 4 - Part 3 Mezzanine	LIGHT INDUSTRY MEZZ	61	31 m <sup>2</sup>
			116 m <sup>2</sup>

Podium 4 - Part 3	INDUSTRIAL UNIT	62	81 m <sup>2</sup>
Podium 4 - Part 3 Mezzanine	LIGHT INDUSTRY MEZZ	62	30 m <sup>2</sup>
			111 m <sup>2</sup>

Podium 4 - Part 3	INDUSTRIAL UNIT	63	90 m <sup>2</sup>
Podium 4 - Part 3 Mezzanine	LIGHT INDUSTRY MEZZ	63	34 m <sup>2</sup>
			124 m <sup>2</sup>

Podium 4 - Part 3	INDUSTRIAL UNIT	64	113 m <sup>2</sup>
Podium 4 - Part 3 Mezzanine	LIGHT INDUSTRY MEZZ	64	34 m <sup>2</sup>
			148 m <sup>2</sup>

Podium 4 - Part 3	INDUSTRIAL UNIT	65	94 m <sup>2</sup>
Podium 4 - Part 3 Mezzanine	LIGHT INDUSTRY MEZZ	65	34 m <sup>2</sup>
			128 m <sup>2</sup>
			813 m <sup>2</sup>

STORAGE SCHEDULE Podium 4 - Part 3			
Level	Name	Number	Area

Podium 4 - Part 3	SC05	1M	7 m <sup>2</sup>
Podium 4 - Part 3	ES4	1N	10 m <sup>2</sup>
Podium 4 - Part 3 Mezzanine	STORAGE MEZZ	169	11 m <sup>2</sup>
Podium 4 - Part 3 Mezzanine	STORAGE MEZZ	170	11 m <sup>2</sup>
Podium 4 - Part 3	S.U	203	59 m <sup>2</sup>
Podium 4 - Part 3	S.U	204	63 m <sup>2</sup>
Podium 4 - Part 3	S.U	205	110 m <sup>2</sup>
Podium 4 - Part 3	S.U	206	41 m <sup>2</sup>
Podium 4 - Part 3	S.U	207	40 m <sup>2</sup>
Podium 4 - Part 3	S.U	208	27 m <sup>2</sup>
Podium 4 - Part 3	S.U	209	32 m <sup>2</sup>
Podium 4 - Part 3	S.U	210	32 m <sup>2</sup>
Podium 4 - Part 3	S.U	211	32 m <sup>2</sup>
Podium 4 - Part 3	S.U	212	29 m <sup>2</sup>
Podium 4 - Part 3	S.U	213	35 m <sup>2</sup>
Podium 4 - Part 3	S.U	214	29 m <sup>2</sup>
Podium 4 - Part 3	S.U	215	35 m <sup>2</sup>
Podium 4 - Part 3	S.U	216	29 m <sup>2</sup>
Podium 4 - Part 3	S.U	217	29 m <sup>2</sup>
Podium 4 - Part 3	S.U	218	32 m <sup>2</sup>
Podium 4 - Part 3	S.U	219	27 m <sup>2</sup>
Podium 4 - Part 3	S.U	220	32 m <sup>2</sup>
Podium 4 - Part 3	S.U	221	29 m <sup>2</sup>
Podium 4 - Part 3	S.U	222	23 m <sup>2</sup>
Podium 4 - Part 3	S.U	223	25 m <sup>2</sup>
Podium 4 - Part 3	S.U	224	30 m <sup>2</sup>

S.U = STORAGE PREMISES

D	Issue for Council	27.09.2022
C	Issue for Council Review	15.09.2022
B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
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Toth & Partners Pty Ltd

6/60 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title  
Proposed Podium 4 – Part 3 Turner Rd

Scale	A1 @	As indicated	Date	September 2022
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JOB No.	BVR422	DWG No.	DA.107 D
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General Notes:

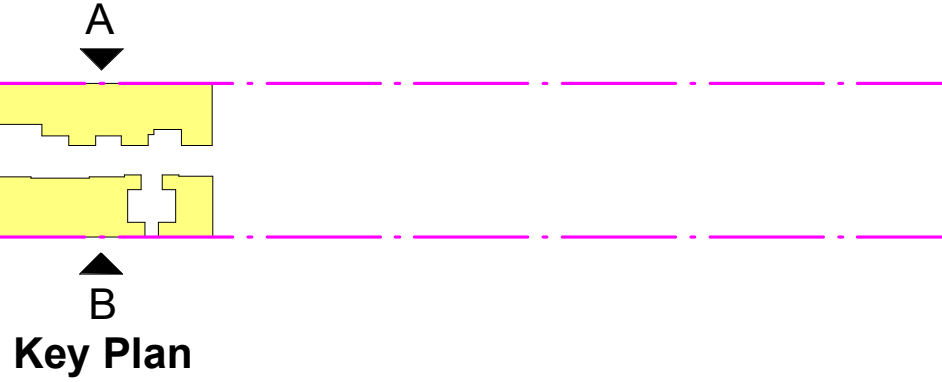
Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD)

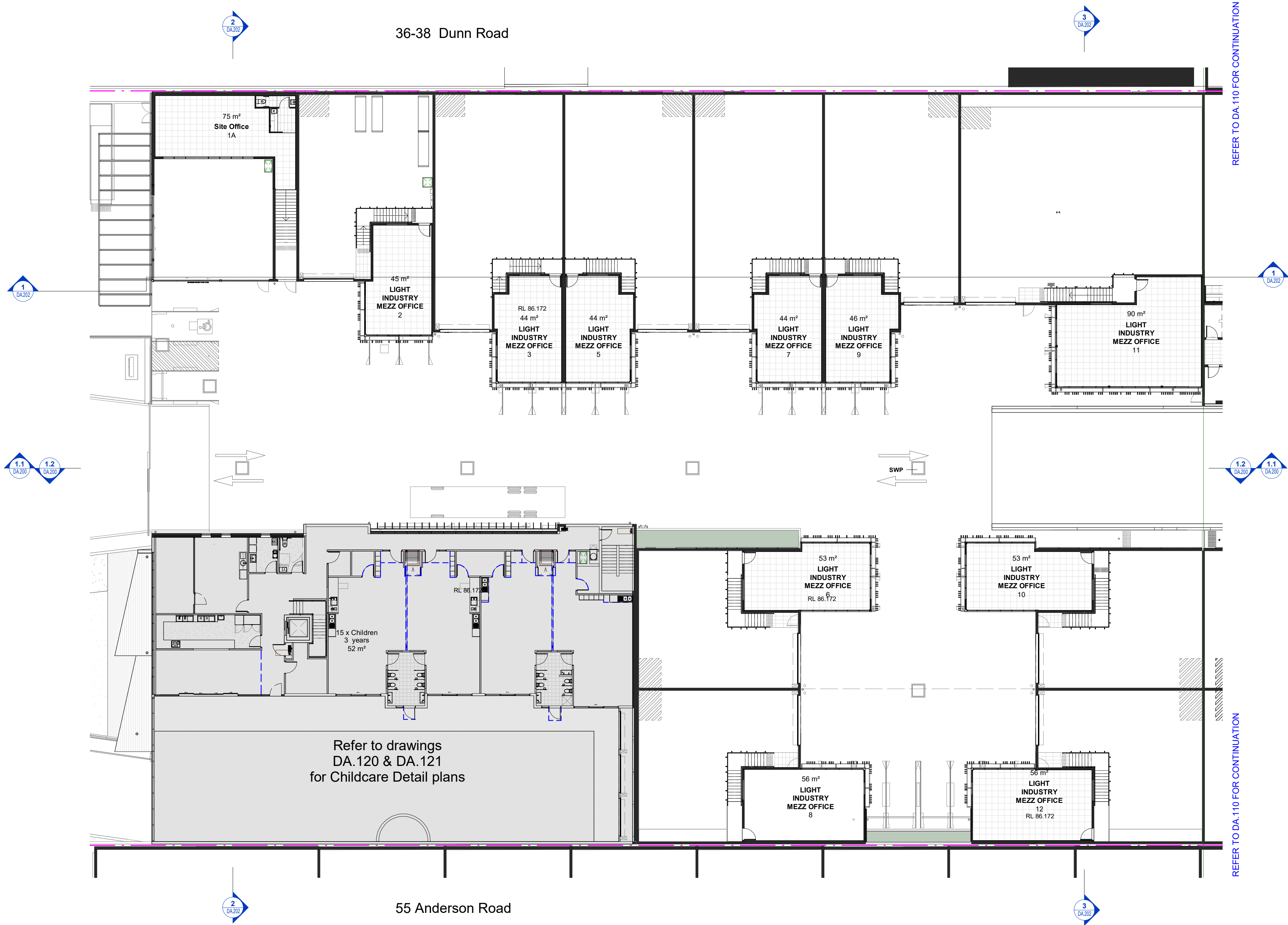
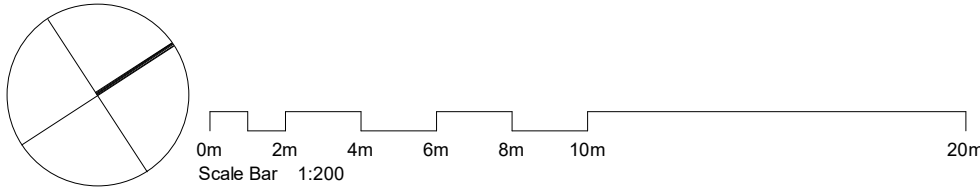
Levels Prefixed With 'RL' Are Interpreted From Existing Survey Information. Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions To Be Verified On Site (VOS) Prior To Construction / Manufacture.





Development Application



C	Issue for Council	27.09.2022
B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
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**Toth & Partners** Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title  
Proposed Mezzanine Podium 1 Anderson  
Rd

Scale	<b>A1 @</b>	As indicated	Date	September 2022
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JOB No.	BVR422	DWG No.	DA.110 C
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General Notes:

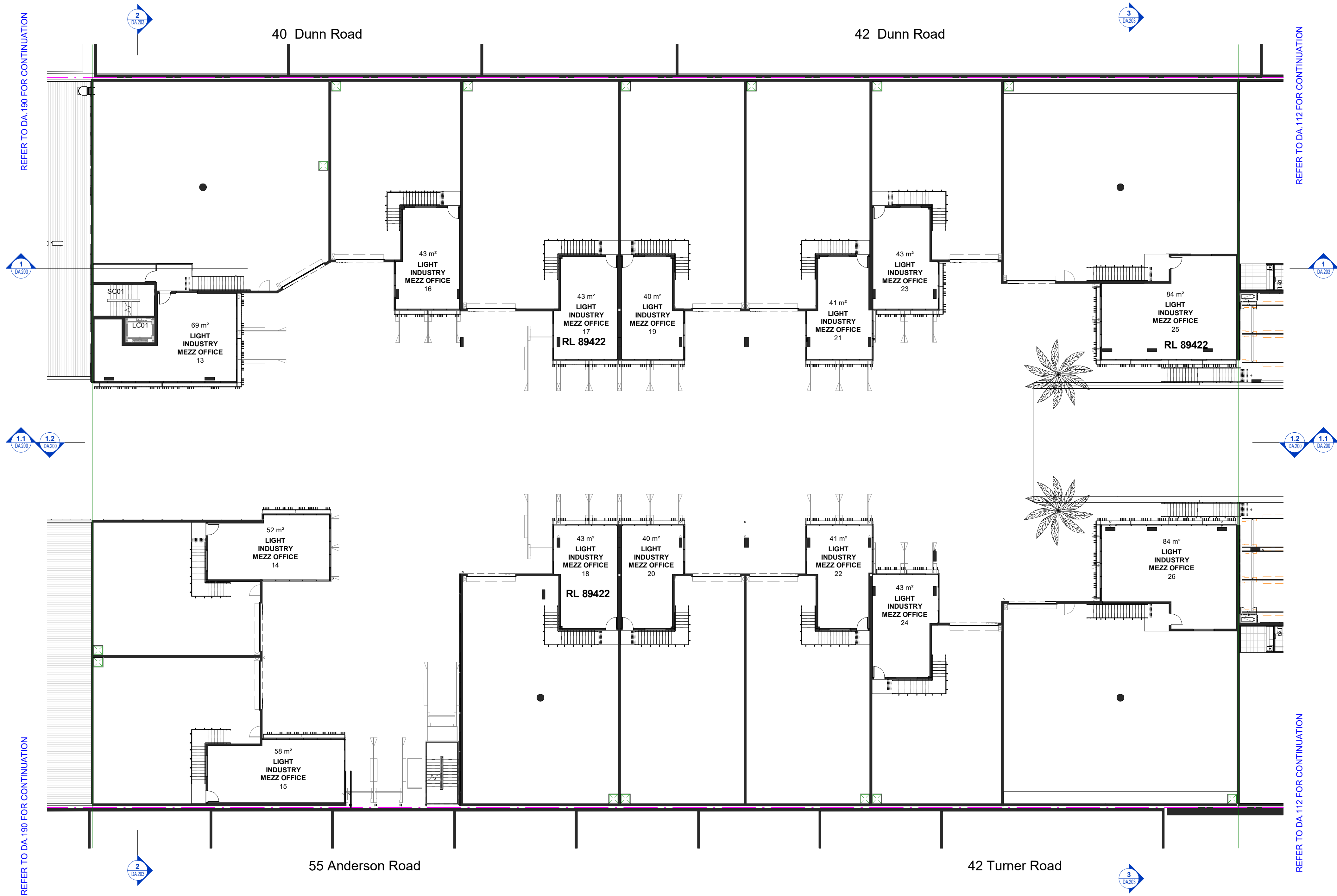
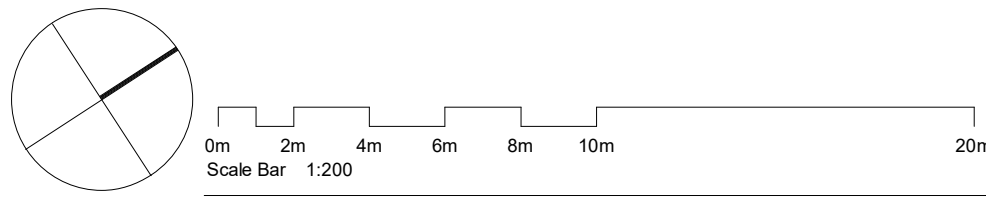
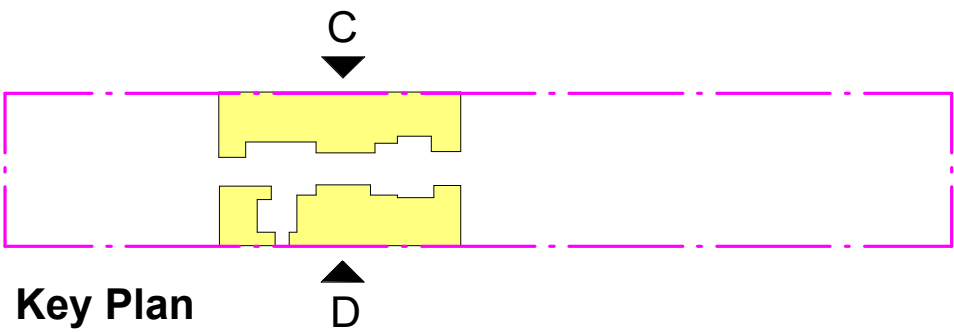
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Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD)

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All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.





D	Issue for Council	27.09.2022
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A	Issue for Development Application	18.05.2022

Rev	Description	Date
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**Toth & Partners** Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title  
Proposed Mezzanine Podium 2 Anderson  
Rd

Scale	<b>A1 @</b>	As indicated	Date	September 2022
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JOB No. BVR422 DWG No. DA.111 D

General Notes:

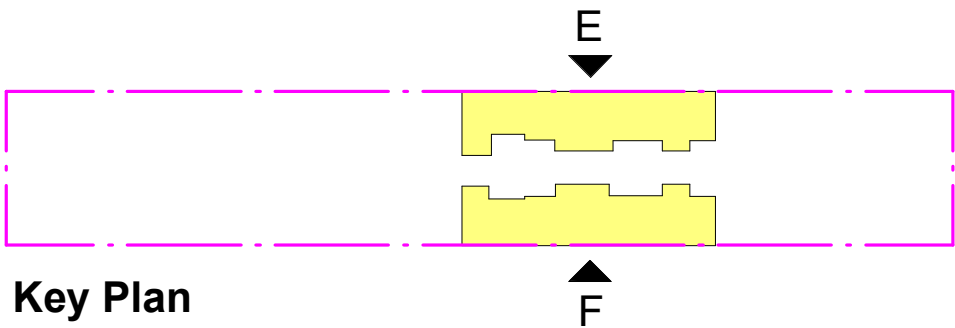
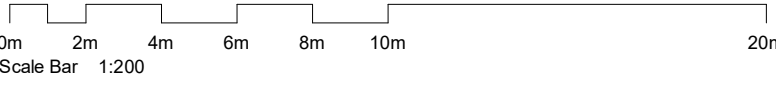
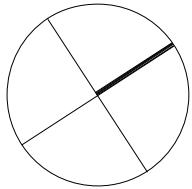
Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD)

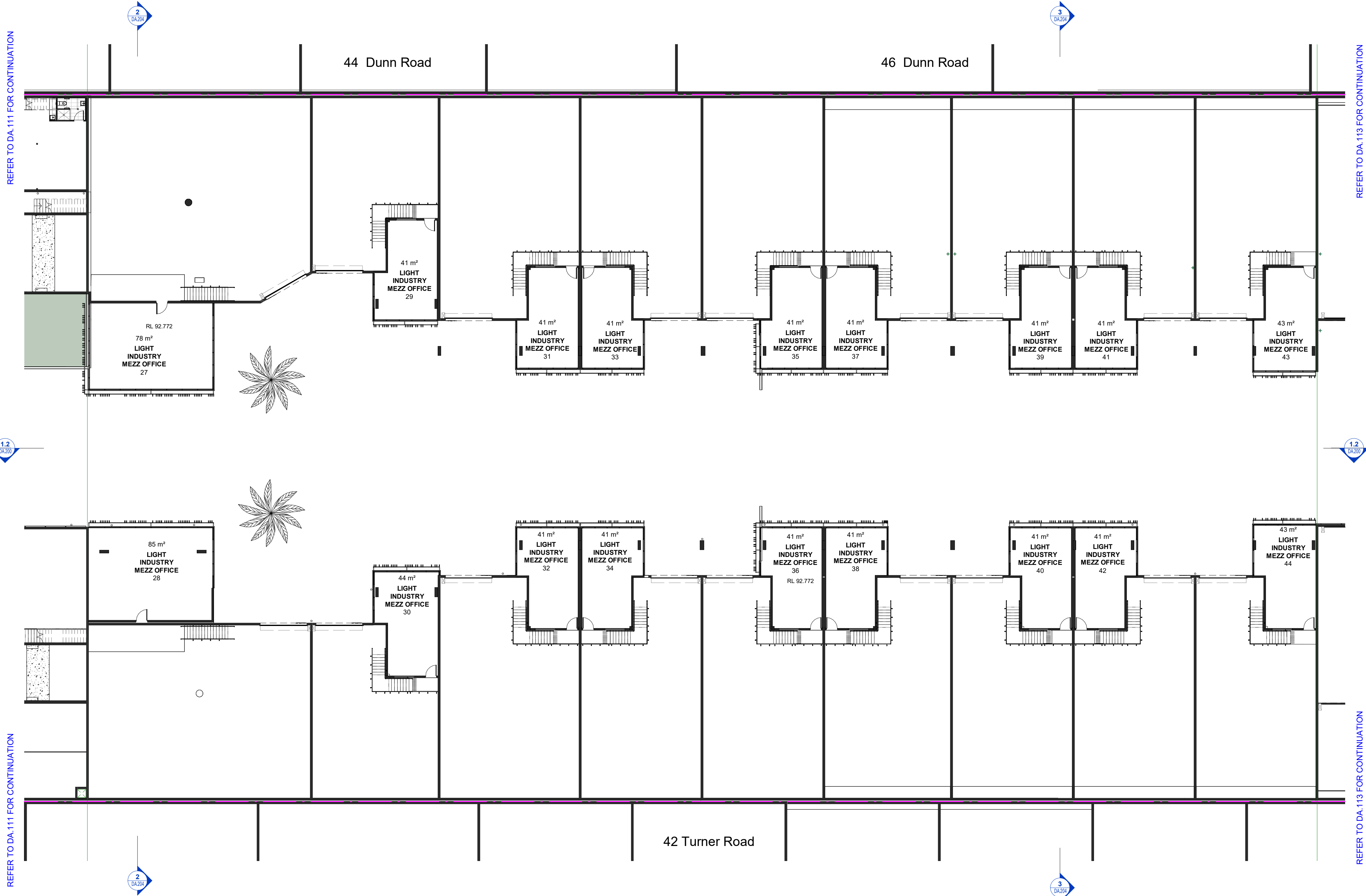
Levels Prefixed With 'RL' Are Interpreted From Existing Survey Information. Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions to be Verified On Site (VOS) Prior To Construction / Manufacture.

Development Application



Key Plan



C	Issue for Council	27.09.2022
B	Issue for Council Review	15.09.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
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**Toth & Partners** Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title  
Proposed Mezzanine Podium 3 Anderson  
Rd

Scale	<b>A1 @</b>	As indicated	Date	September 2022
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JOB No. BVR422 DWG No. DA.112 C

General Notes:

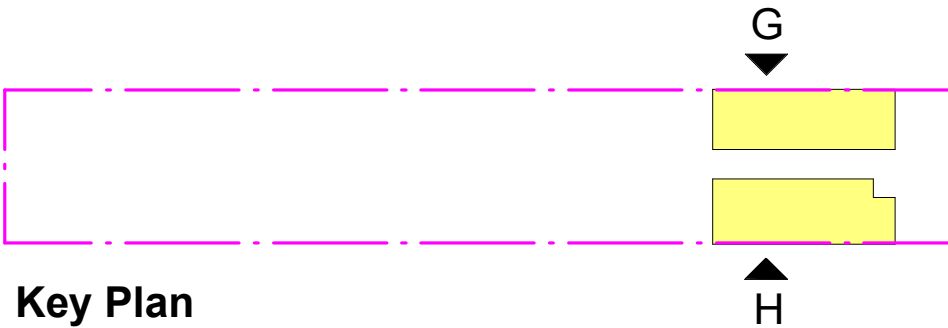
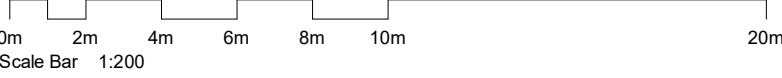
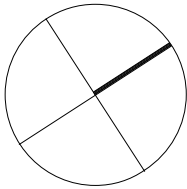
Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD)

Levels Prefixed With 'RL' Are Interpreted From Existing Survey Information. Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.

Development Application



Key Plan



B DA Amended Plans 11.07.2022  
A Issue for Development Application 18.05.2022

Rev	Description	Date
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Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

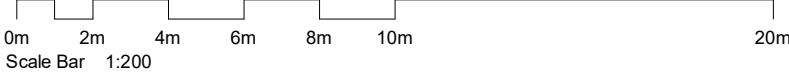
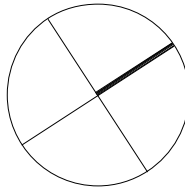
Title  
Proposed Mezzanine Podium 3 Basement  
Storage

Scale A1 @ As indicated Date September 2022

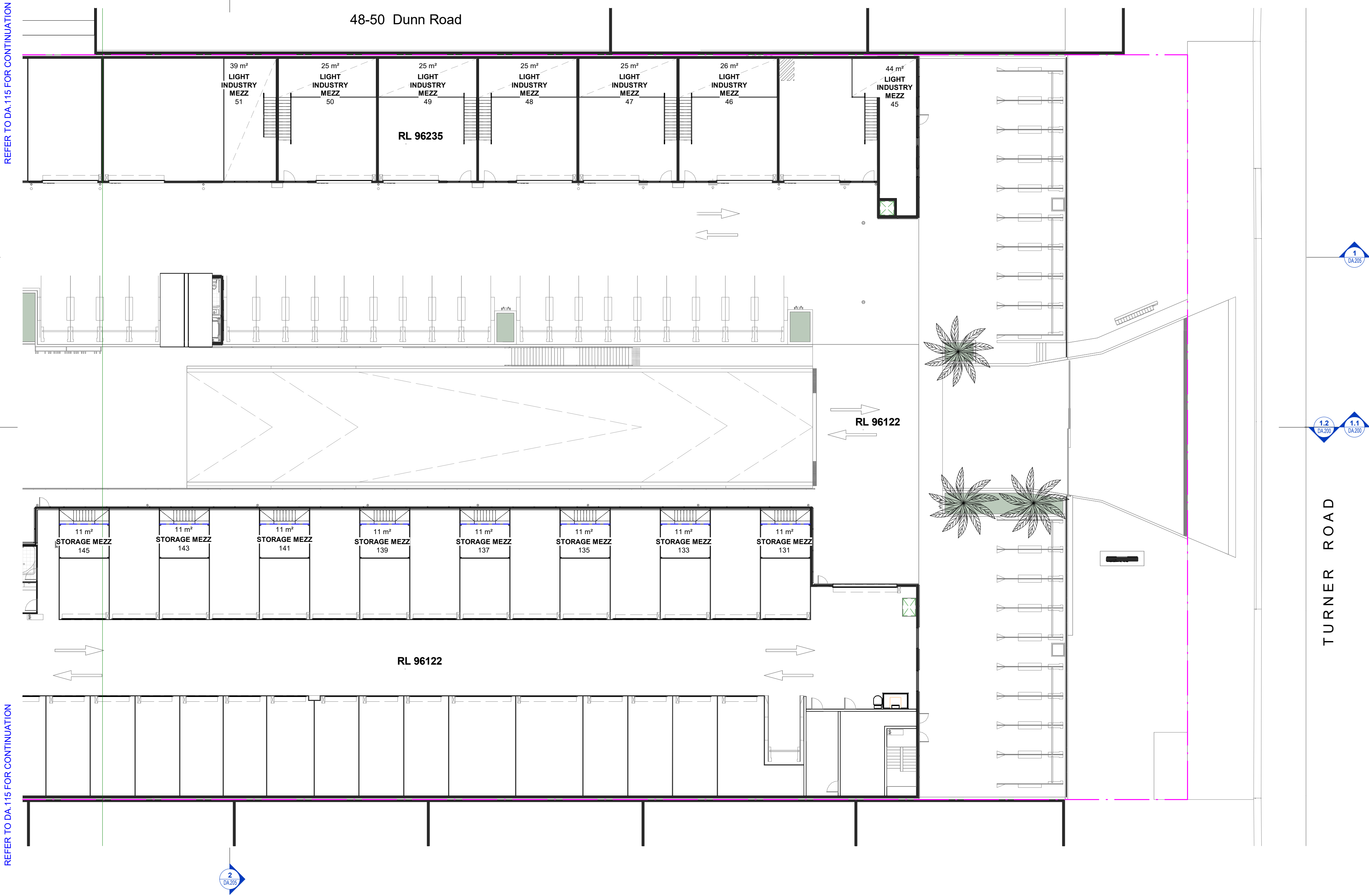
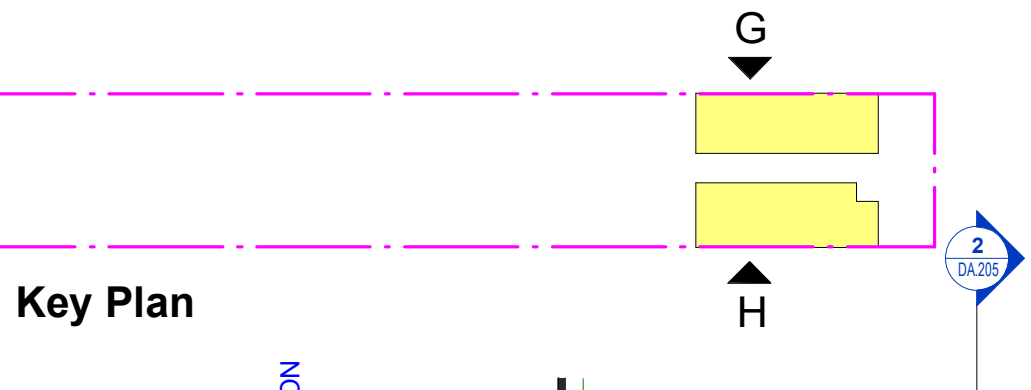
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BVR422 DA.113 B

Development Application



Key Plan



D	Issue for Council	27.09.2022
C	Issue for Council Review	15.09.2022
B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
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## Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title  
Proposed Mezzanine Podium 4 – Part 1  
Turner Rd

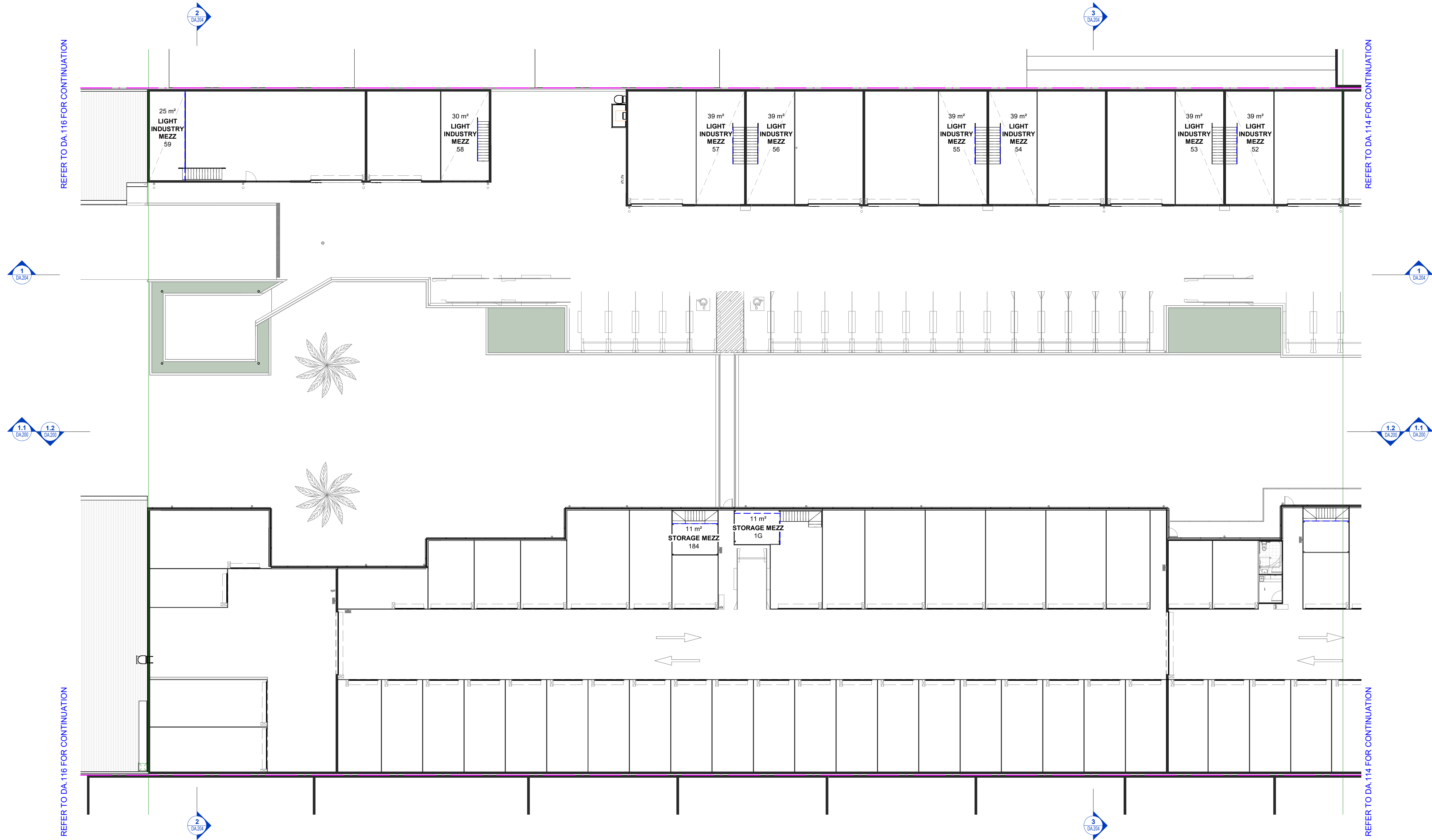
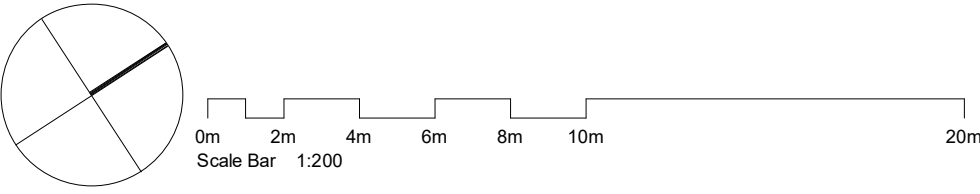
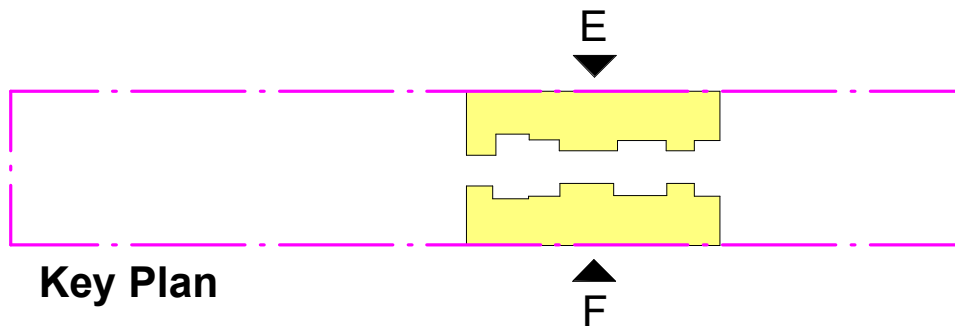
Scale	A1 @	As indicated	Date	September 2022
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JOB No. DWG No.

BVR422 DA.114 D



Development Application



D	Issue for Council	27.09.2022
C	Issue for Council Review	15.09.2022
B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
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Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title  
Proposed Mezzanine Podium 4 – Part 2  
Turner Rd

Scale	A1 @	As indicated	Date	September 2022
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JOB No.	BVR422	DWG No.	DA.115 D
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General Notes:

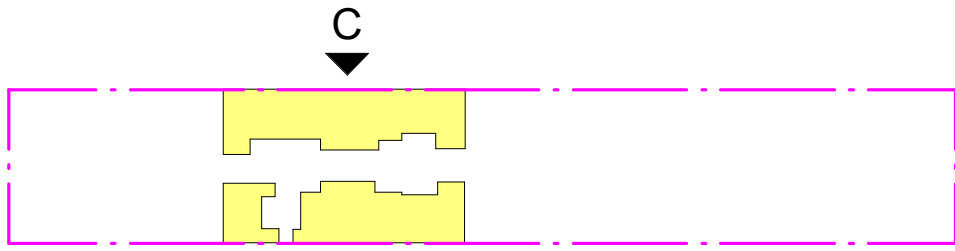
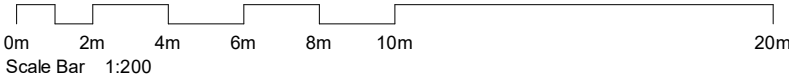
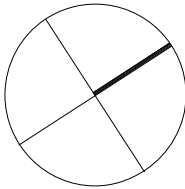
Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD)

Levels Prefixed With 'RL' Are Interpreted From Existing Survey Information. Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions To Be Verified On Site (VOS) Prior To Construction / Manufacture.

Development Application



Key Plan



D	Issue for Council	27.09.2022
C	Issue for Council Review	15.09.2022
B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
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# Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title  
Proposed Mezzanine Podium 4 – Part 3  
Turner Rd

Scale	A1 @	As indicated	Date	September 2022
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JOB No.	DWG No.
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BVR422 DA.116 D

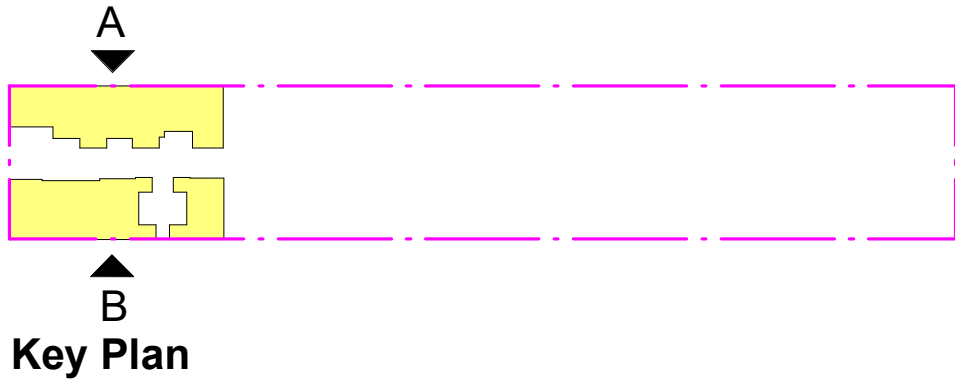
General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

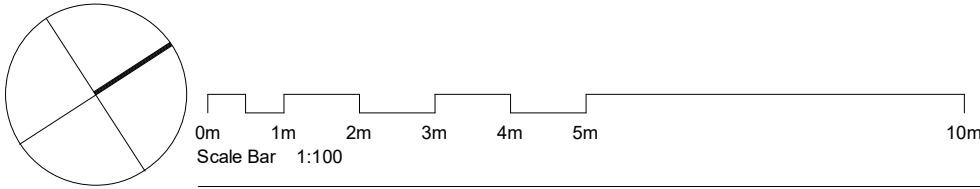
Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD)

Levels Prefixed With 'RL' Are Interpreted From Existing Survey Information. Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

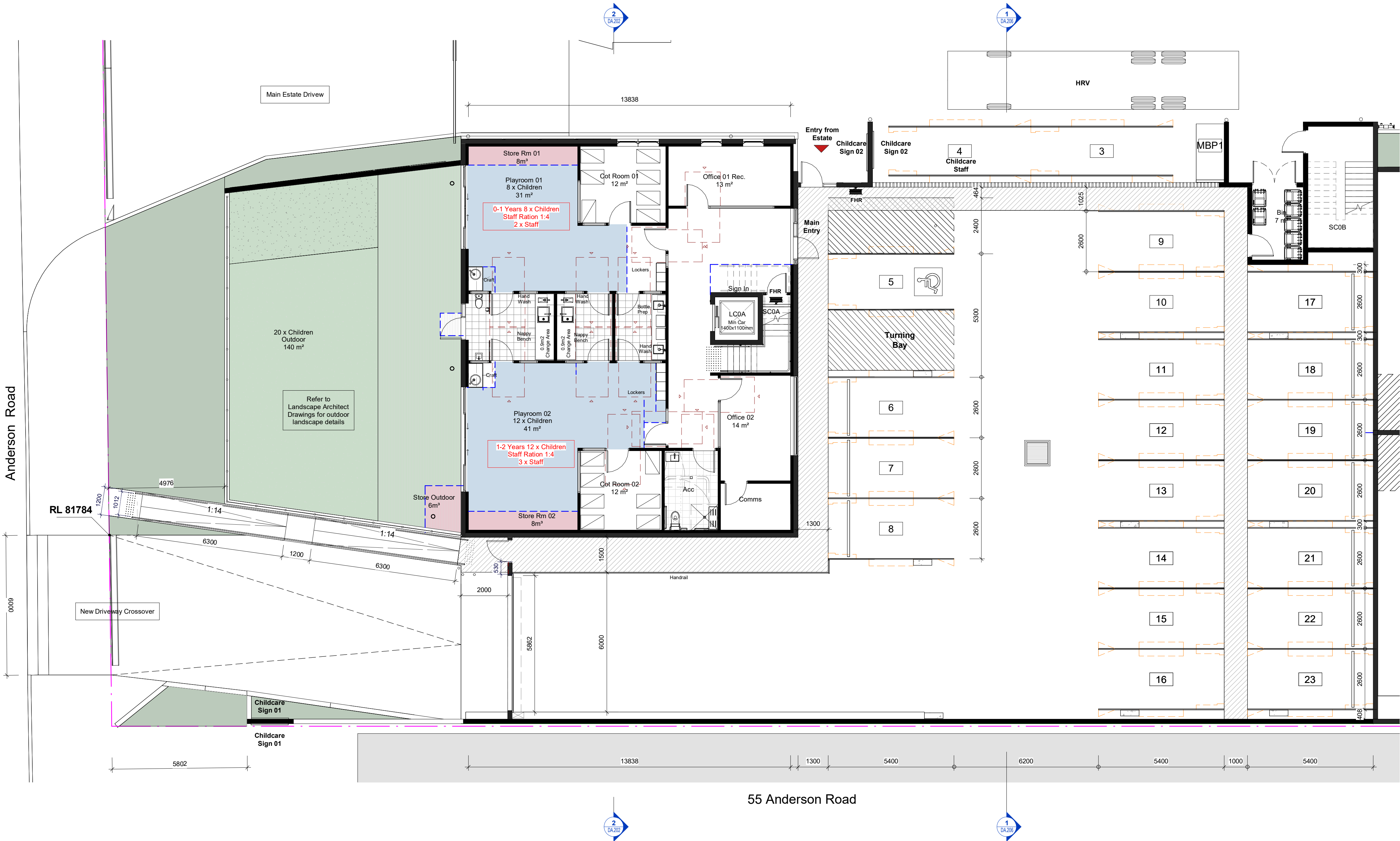
All Dimensions to be Verified On Site (VOS) Prior To Construction / Manufacture.



Development Application



Code	Description
FHR	Fire Hose Reel (Installation To Comply To AS2441)



D	Issue for Council	27.09.2022
C	Issue for Council Review	15.09.2022
B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
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Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title  
Proposed Childcare Ground Floor Plan

Scale	A1 @	As indicated	Date	September 2022
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JOB No. BVR422 DWG No. DA.120 D

General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

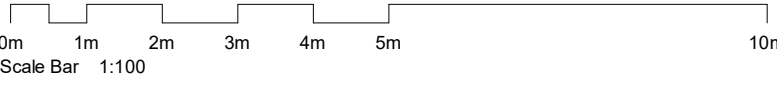
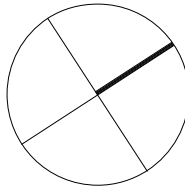
Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD)

Levels Prefixed With 'RL' Are Interpreted From Existing Survey Information. Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

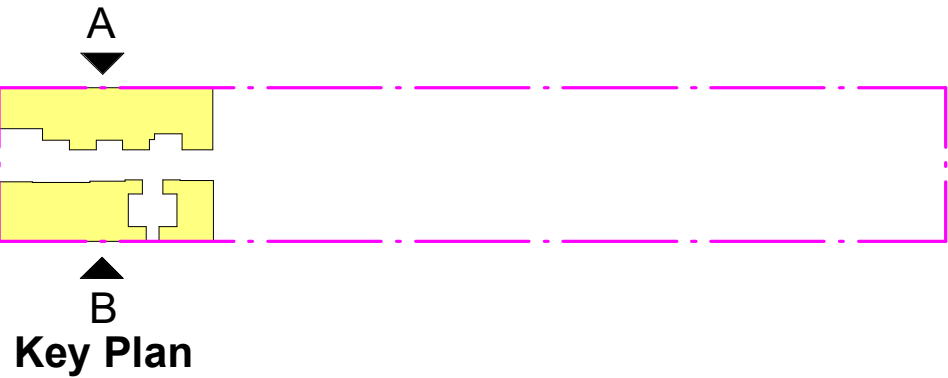
All Dimensions to be Verified On Site (VOS) Prior To Construction / Manufacture.



Development Application



Code	Description
FH	Fire Hydrant - Refer To Hydraulic Engineers Details
FHR	Fire Hose Reel (Installation To Comply To AS2441)



Key Plan



55 Anderson Road

C	Issue for Council Review	15.09.2022
B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
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Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title  
Proposed Childcare First Floor Plan

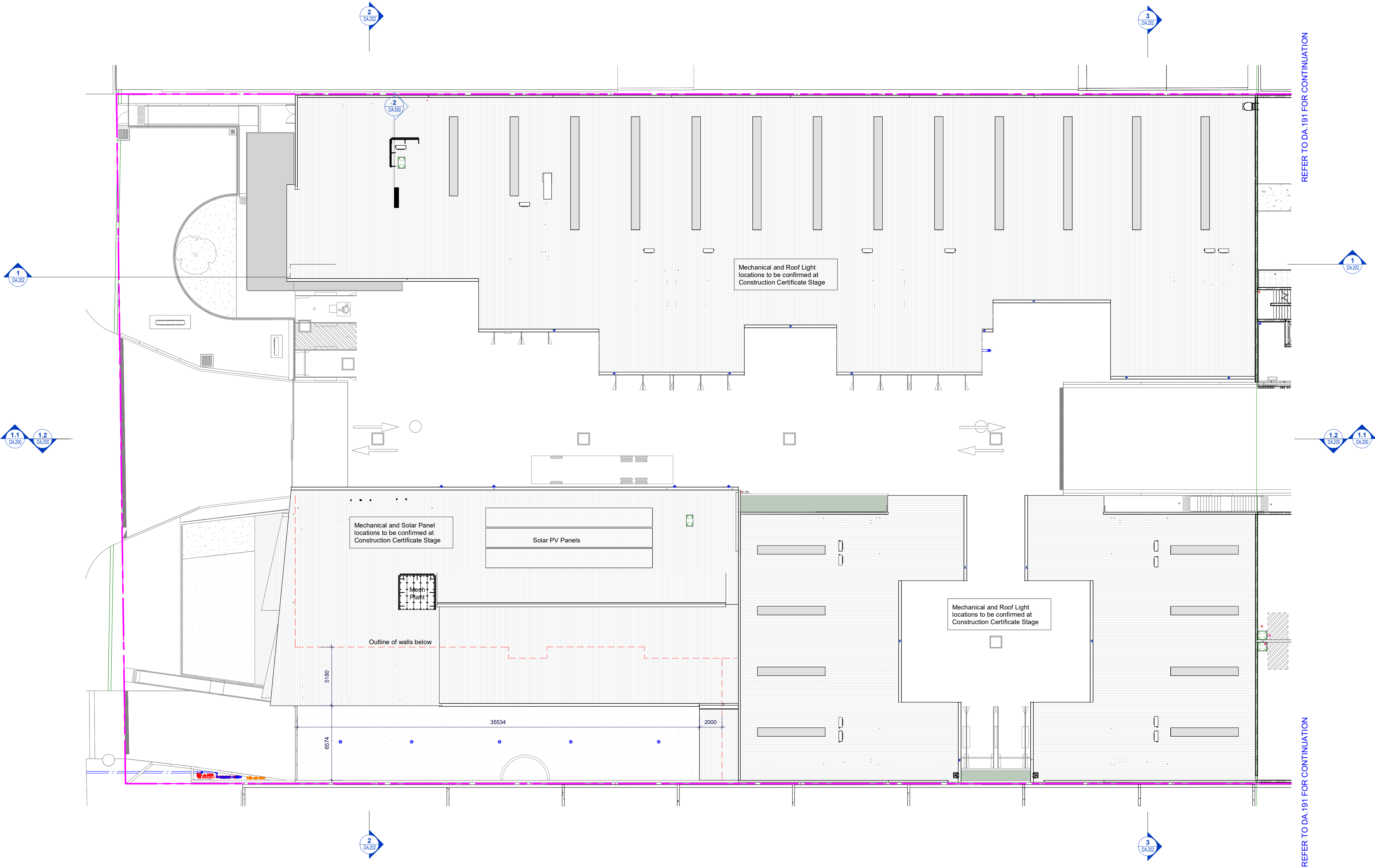
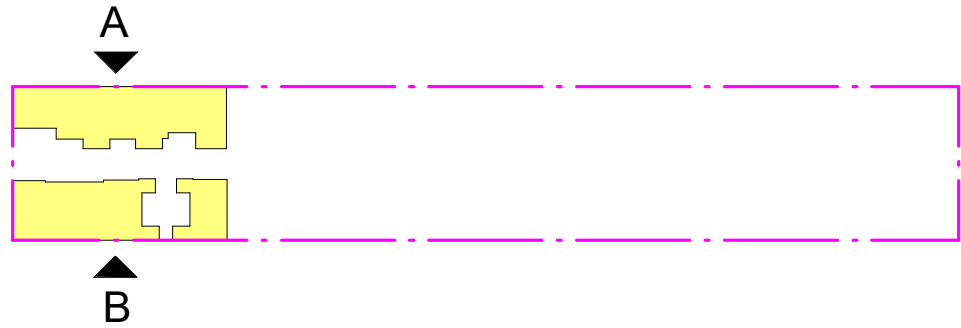
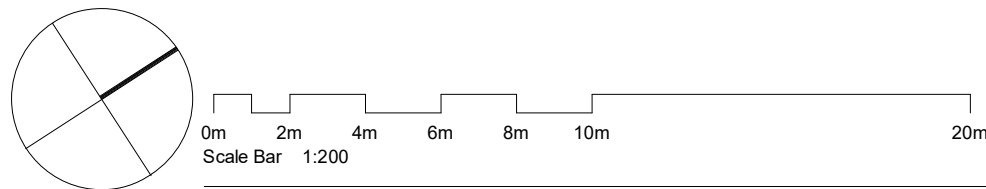
Scale	A1 @	As indicated	Date	September 2022
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JOB No.	DWG No.
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BVR422 DA.121 C



Development Application



C	Issue for Council Review	15.09.2022
B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
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**Toth & Partners** Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title  
Proposed Roof Podium 1 Anderson Rd

Scale	<b>A1 @</b>	As indicated	Date	September 2022
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JOB No.	BVR422	DWG No.	DA.190 C
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General Notes:

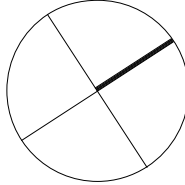
Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD)

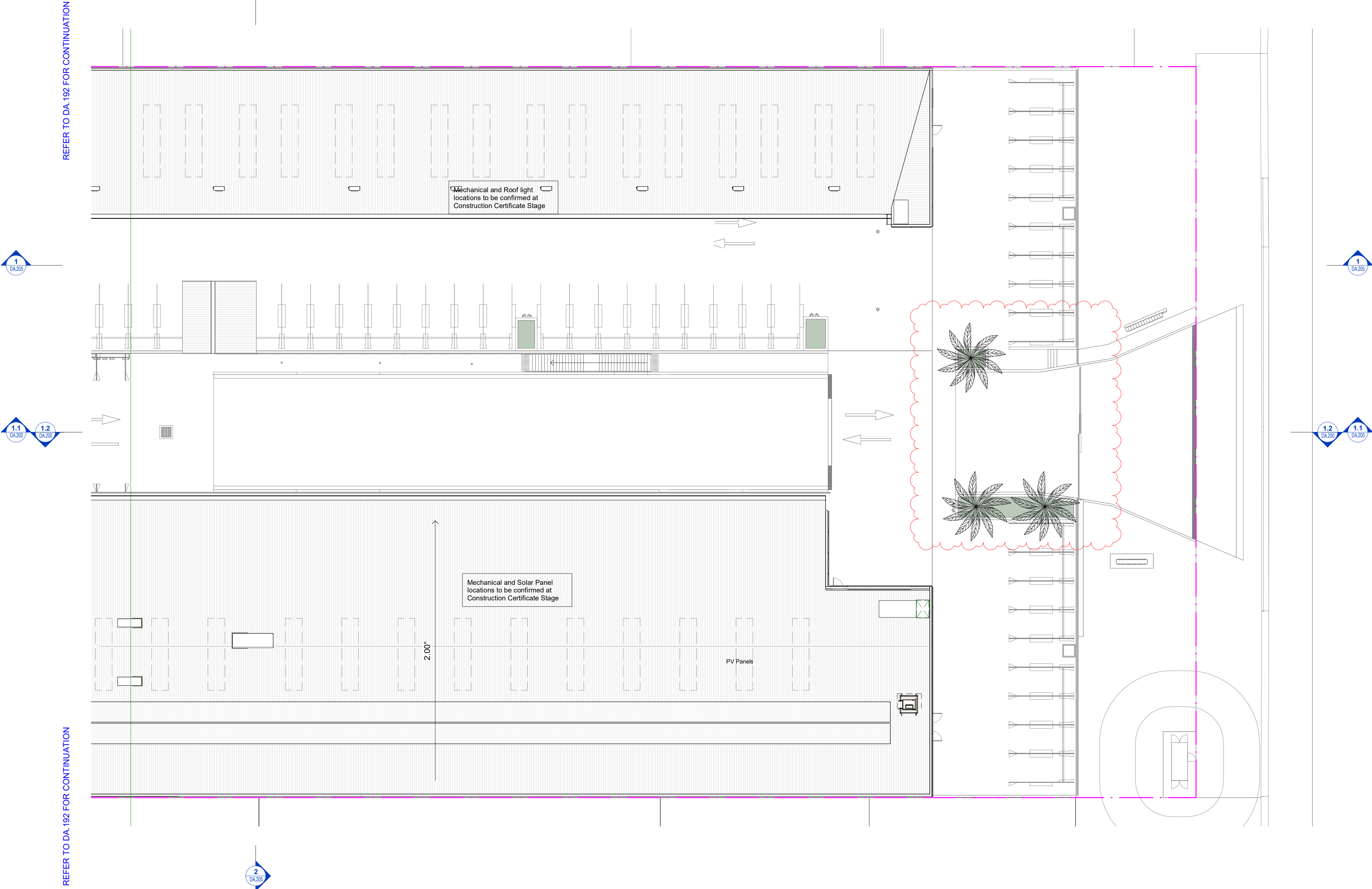
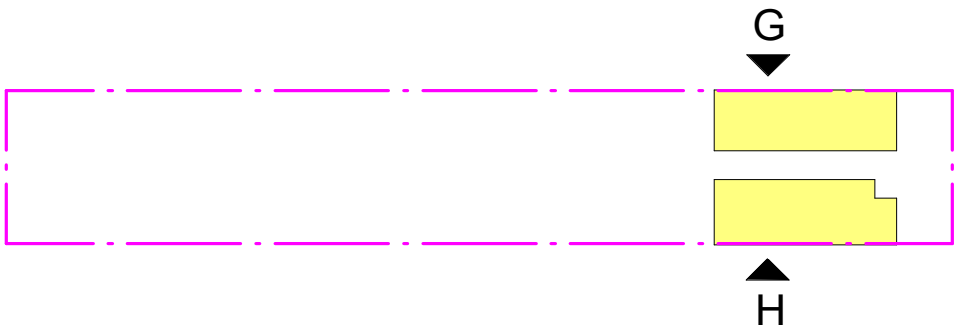
Levels Prefixed With 'RL' Are Interpreted From Existing Survey Information. Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions To Be Verified On Site (VOS) Prior To Construction / Manufacture.

Development Application



NOT For Construction



C	Issue for Council Review	15.09.2022
B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
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**Toth & Partners** Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title  
Proposed Roof Podium 4 – Part 1 Turner  
Rd

Scale	A1 @	As indicated	Date	September 2022
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JOB No.	BVR422	DWG No.	DA.191 C
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General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

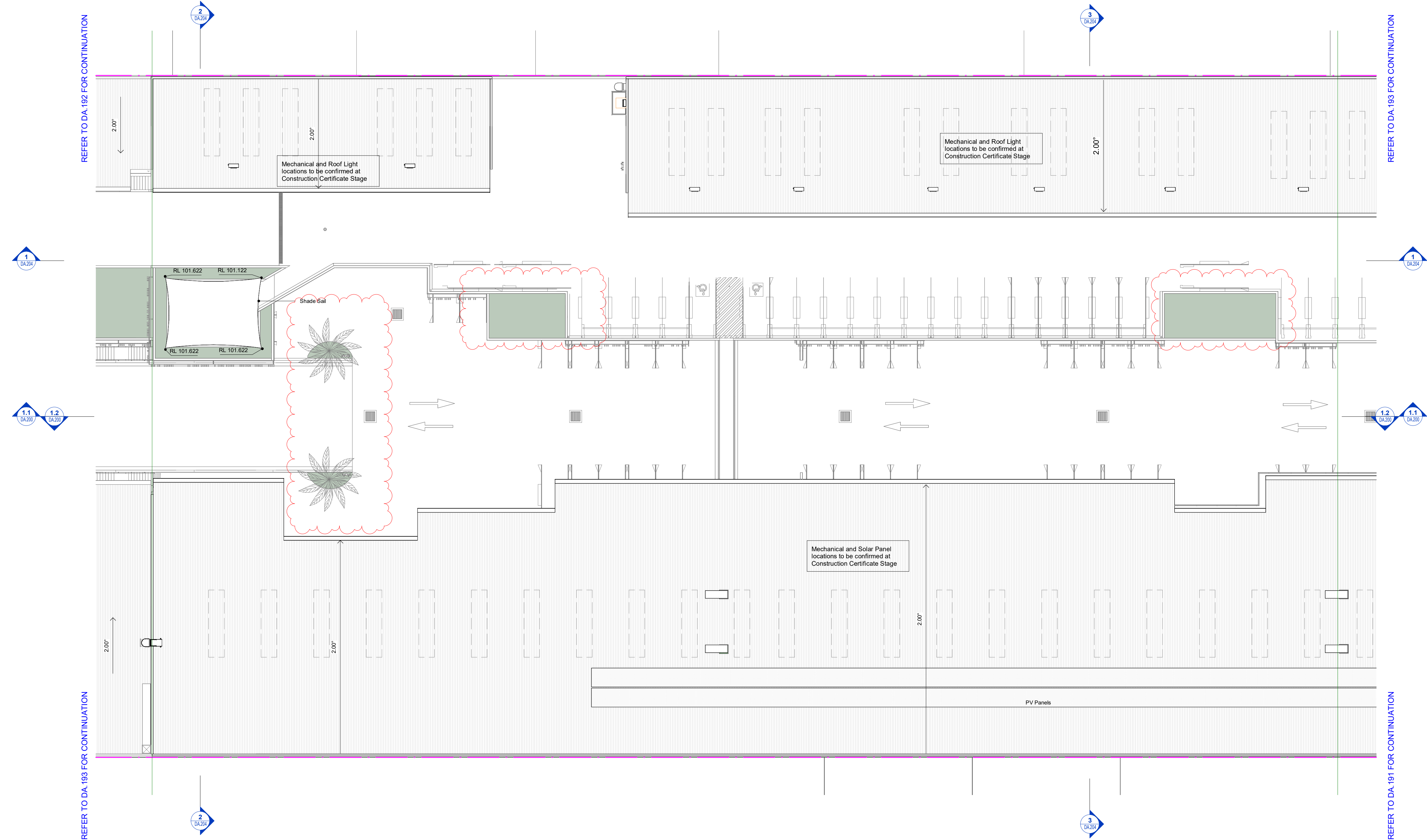
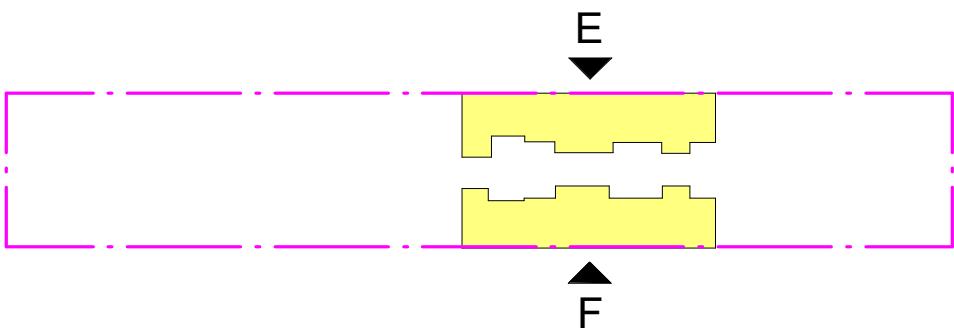
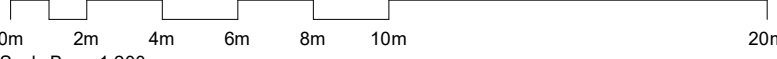
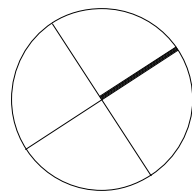
Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD)

Levels Prefixed With 'RL' Are Interpreted From Existing Survey Information. Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.

Development Application

NOT For Construction



C	Issue for Council Review	15.09.2022
B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
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**Toth & Partners** Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title  
Proposed Roof Podium 4 – Part 2 Turner  
Rd

Scale	A1 @	As indicated	Date	September 2022
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JOB No.	BVR422	DWG No.	DA.192 C
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General Notes:

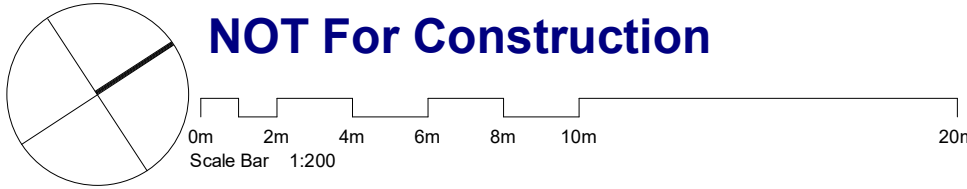
Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD)

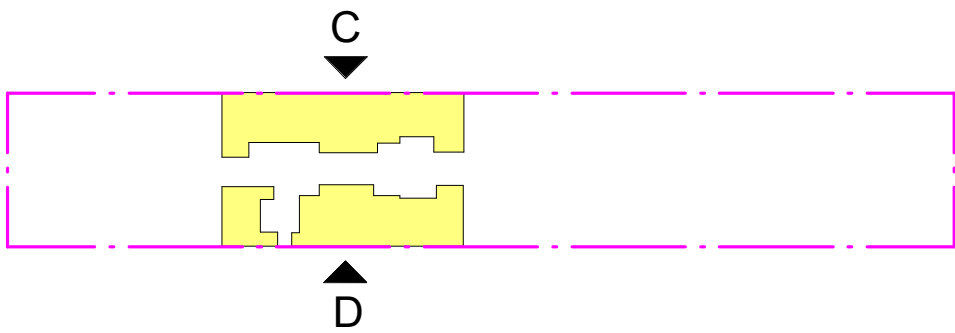
Levels Prefixed With 'RL' Are Interpreted From Existing Survey Information. Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.

Development Application



NOT For Construction



C	Issue for Council Review	15.09.2022
B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
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**Toth & Partners** Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title  
Proposed Roof Podium 4 – Part 3 Turner  
Rd

Scale	A1 @	As indicated	Date	September 2022
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JOB No.	BVR422	DWG No.	DA.193 C
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General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD)

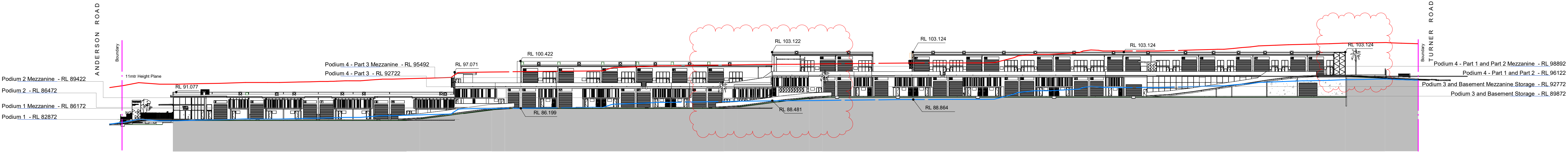
Levels Prefixed With 'RL' Are Interpreted From Existing Survey Information. Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.



Development Application

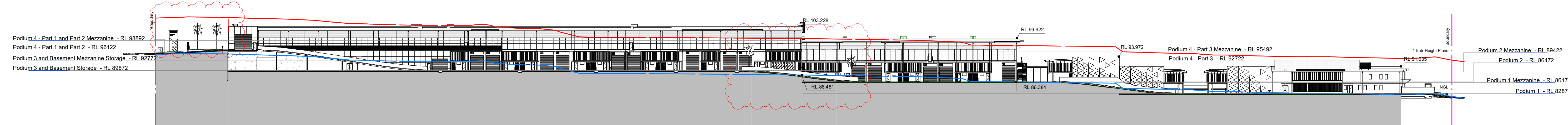
NOT For Construction



1.1 SN long Section

1 : 600

Height Plane taken at Section Location.  
Refer to GA Plans for Section Location.



1.2 NS long Section

1 : 600

Height Plane taken at Section Location.  
Refer to GA Plans for Section Location.

C	Issue for Council Review	15.09.2022
B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
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Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

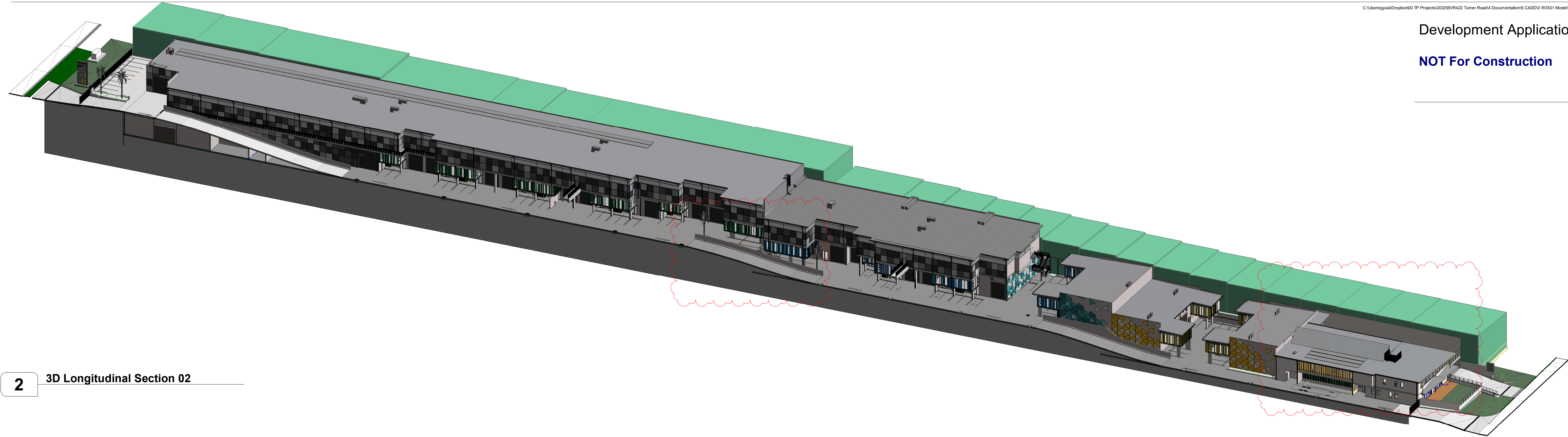
Title  
Long Section

Scale	A1 @ 1 : 600	Date	September 2022
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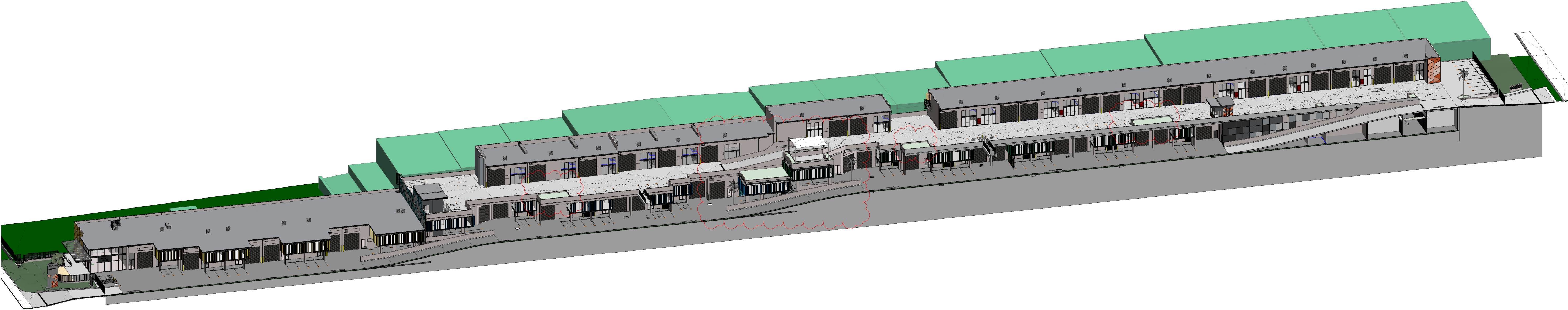
JOB No.	DWG No.
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BVR422 DA.200 C





2 3D Longitudinal Section 02



1 3D Longitudinal Section 01

C	Issue for Council Review	15.09.2022
B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
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Toth & Partners Pty Ltd

6/60 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title  
3D Longitudinal Sections

Scale **A1 @** 1 : 50 Date **September 2022**

JOB No. **BVR422** DWG No. **DA.201 C**

**General Notes:**

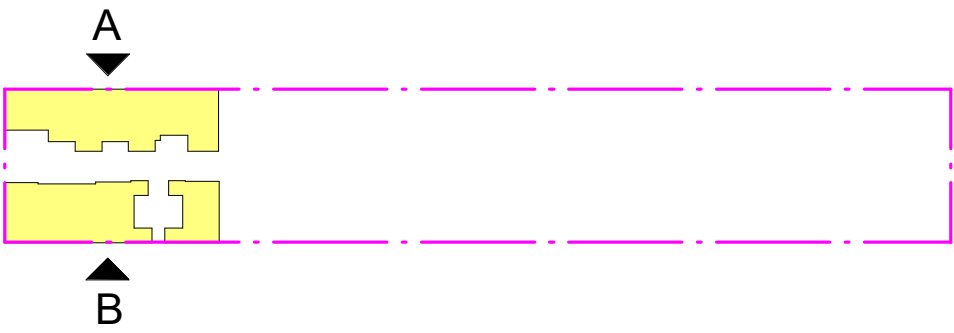
Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD)

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All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.

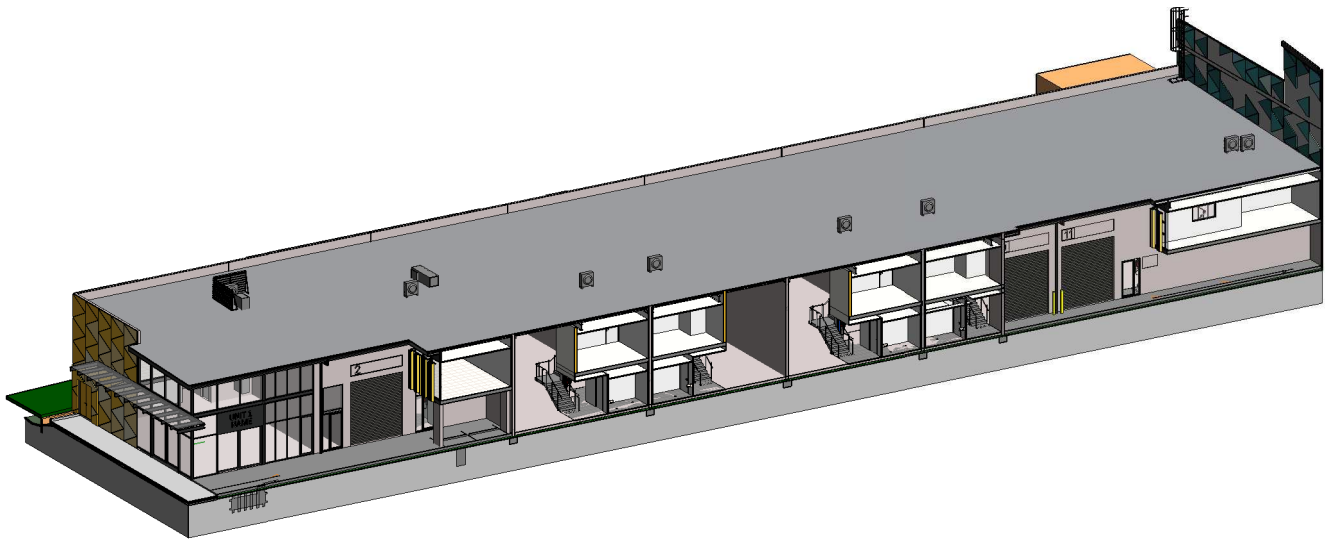
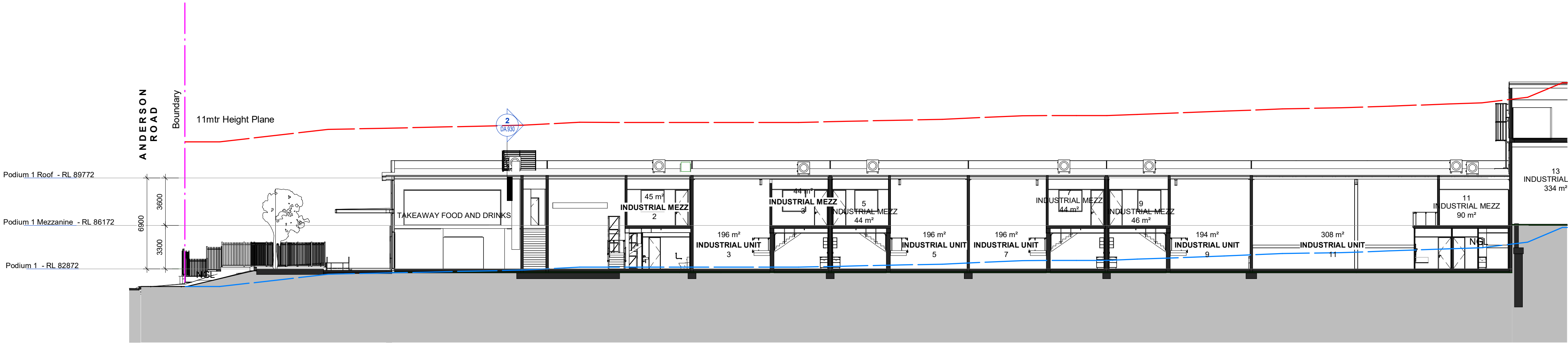
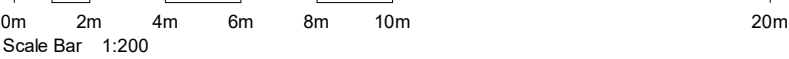




Key Plan

Development Application

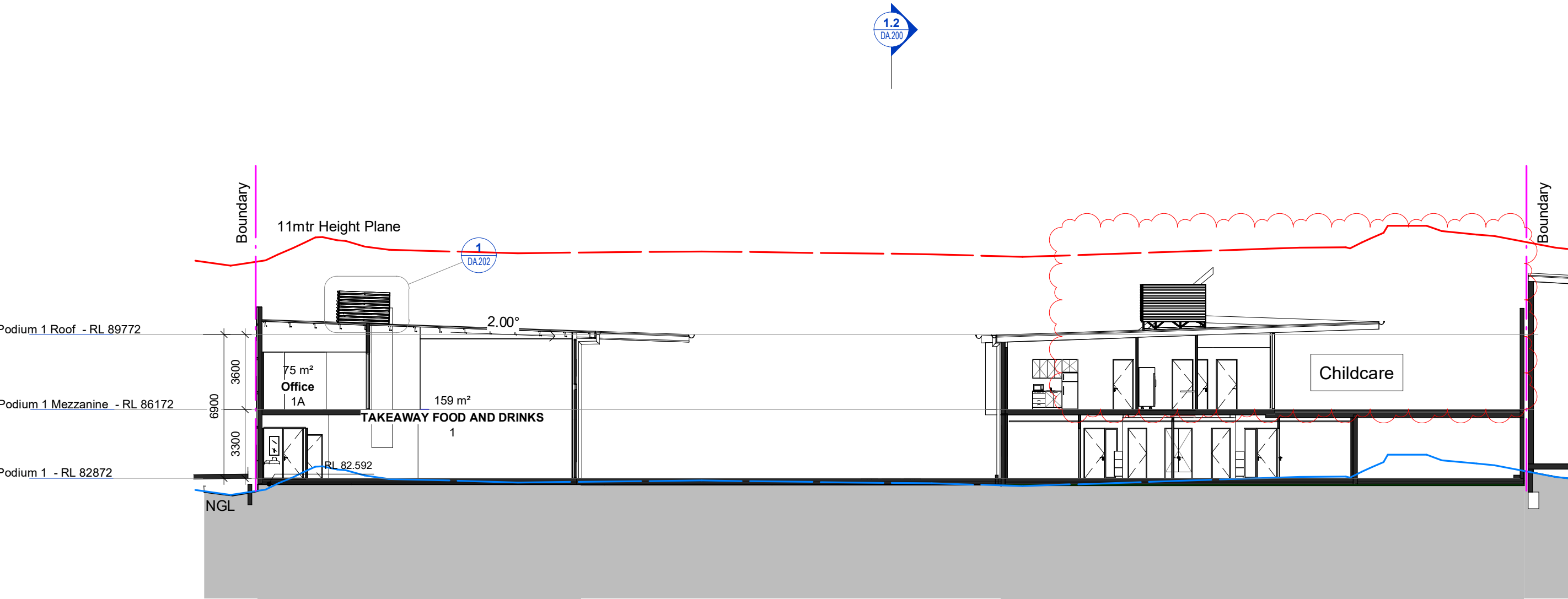
NOT For Construction



3D View Podium 1 - Section View Area 'A'

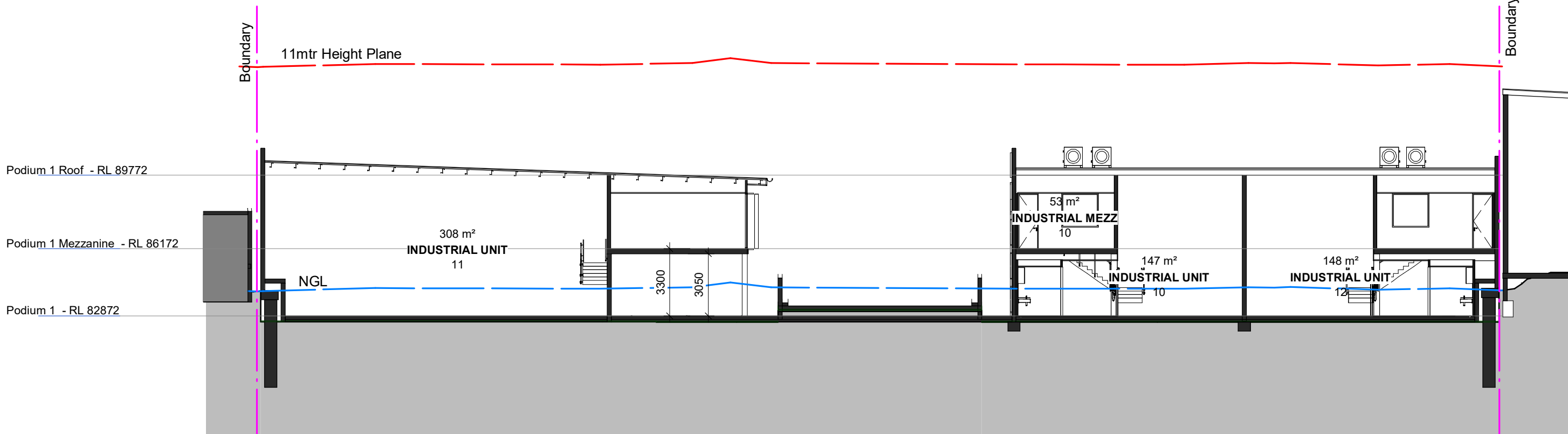
1 Podium 1 - NS Section Area A

1 : 200



2 Podium 1 - EW-A Section

1 : 200



3 Podium 1 - EW-B Section

1 : 200

C	Issue for Council Review	15.09.2022
B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
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Toth & Partners Pty Ltd

6/60 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title  
Proposed Podium 1 Sections A-B

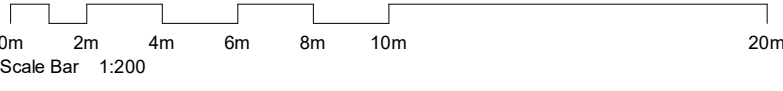
Scale	A1 @	As indicated	Date	September 2022
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JOB No. DWG No.

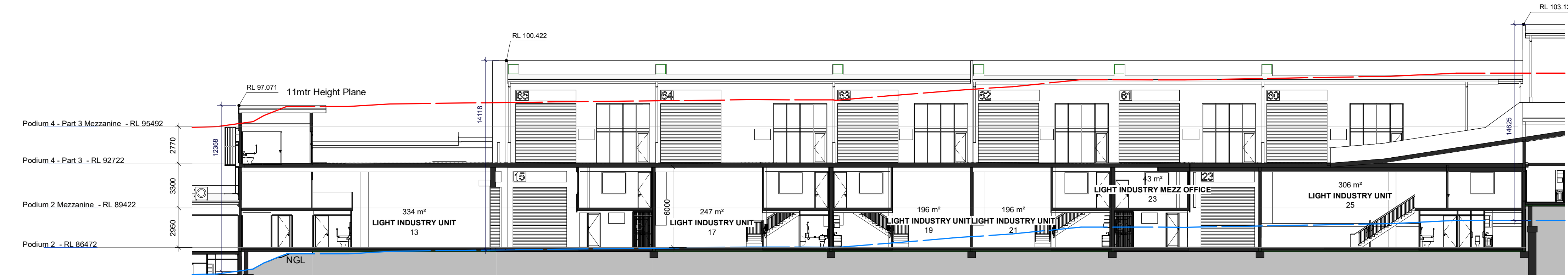
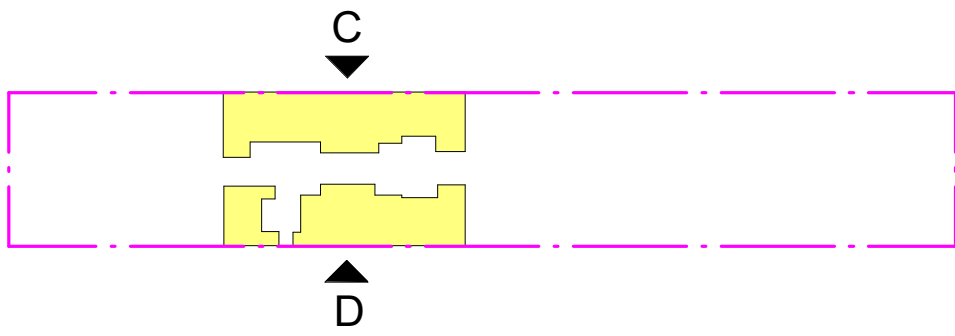
BVR422 DA.202 C



Development Application

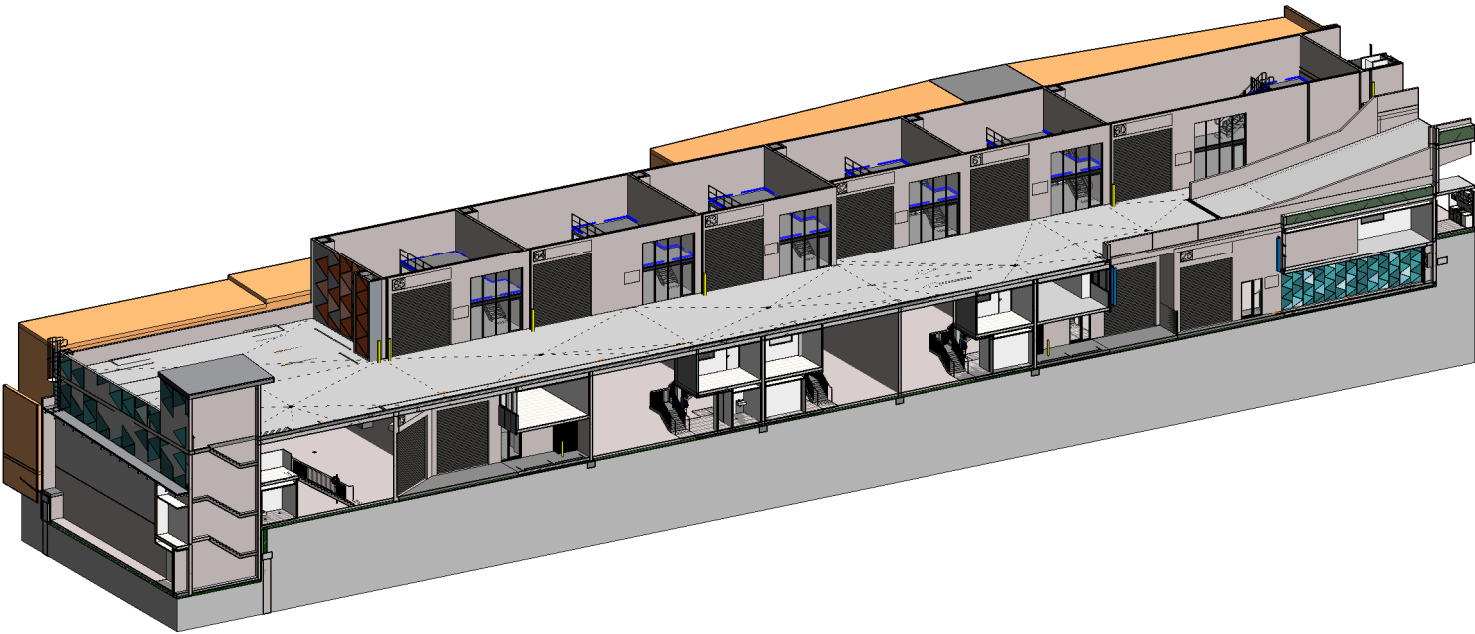
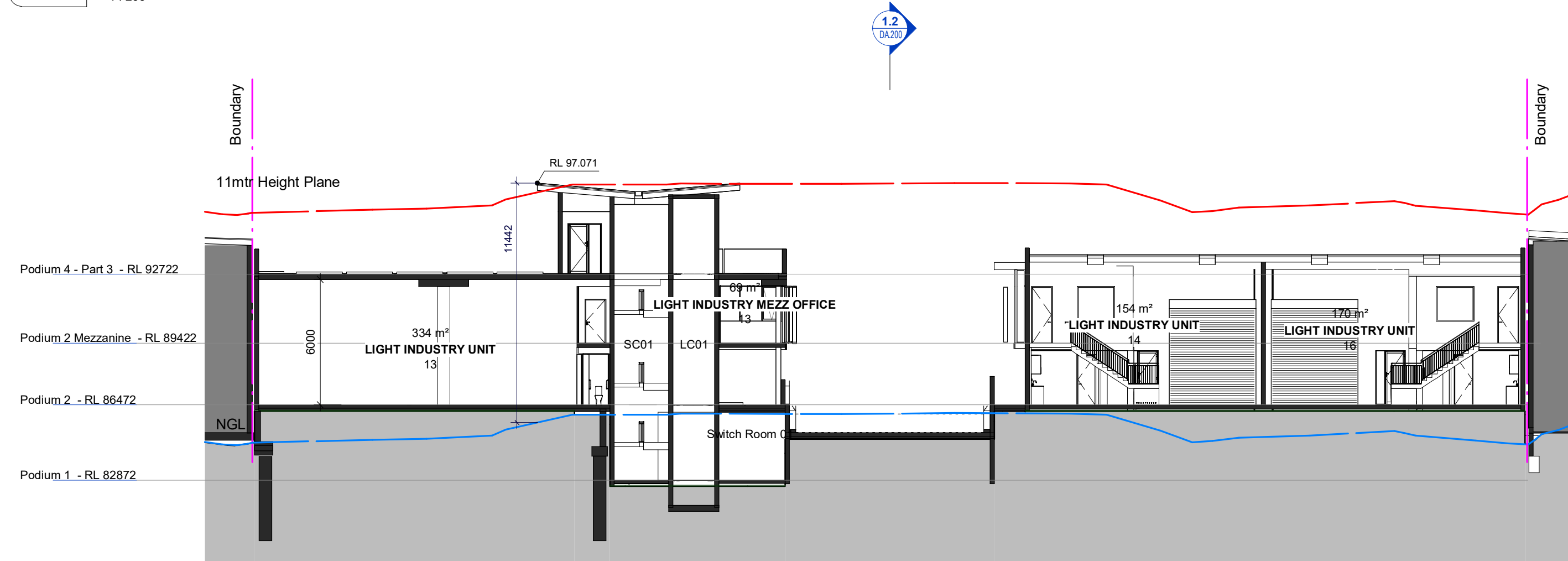


Key Plan



1 Podium 2 - Section NS Area C

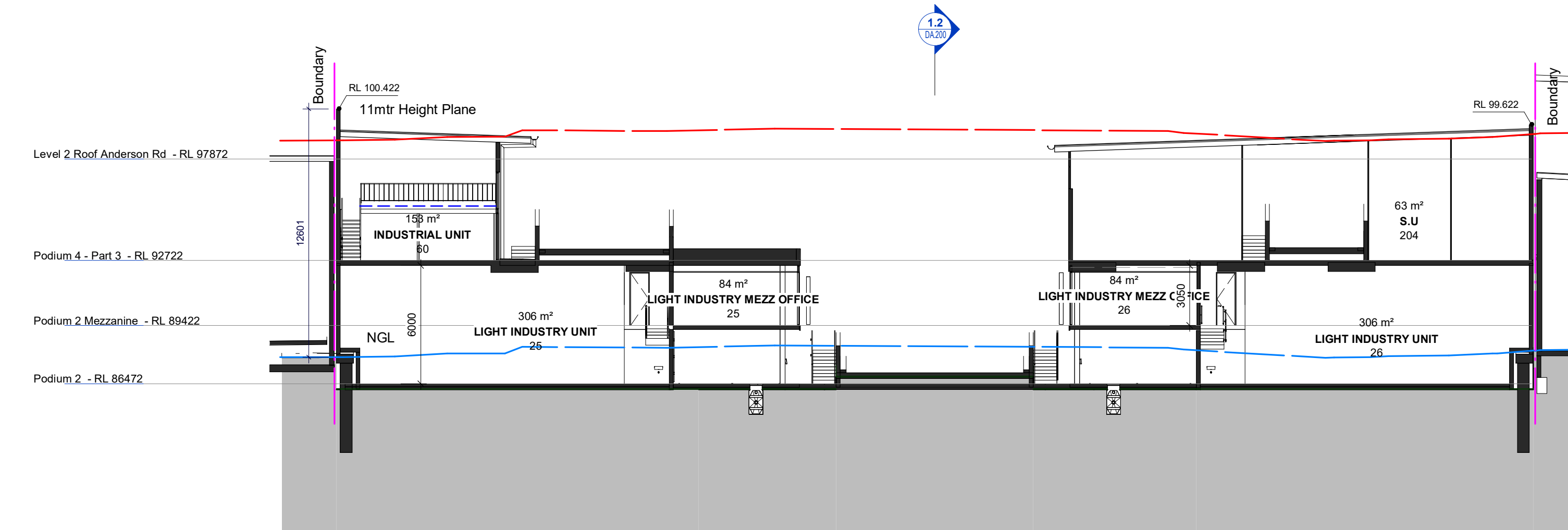
1 : 200



3D View Podium 2 - Section View Area 'C'

2 Podium 2 - Section EW-A

1 : 200



3 Podium 2 - Section 1 EW-B

1 : 200

B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
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**Toth & Partners** Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title  
Proposed Podium 2 Sections C-D

Scale	A1 @	As indicated	Date	September 2022
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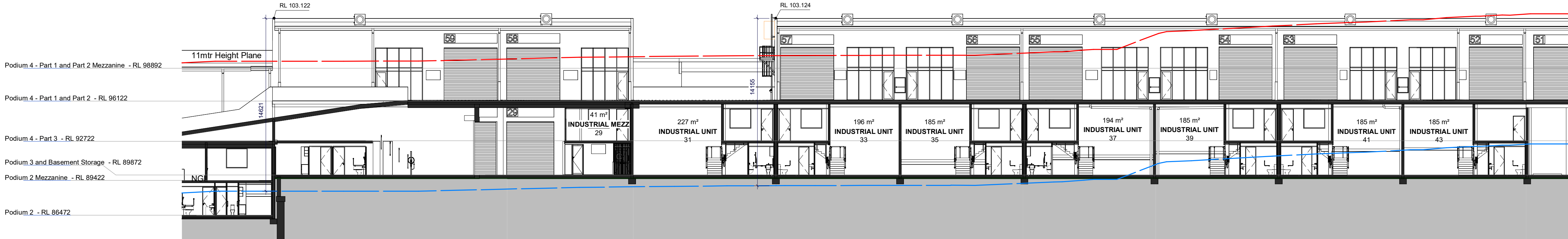
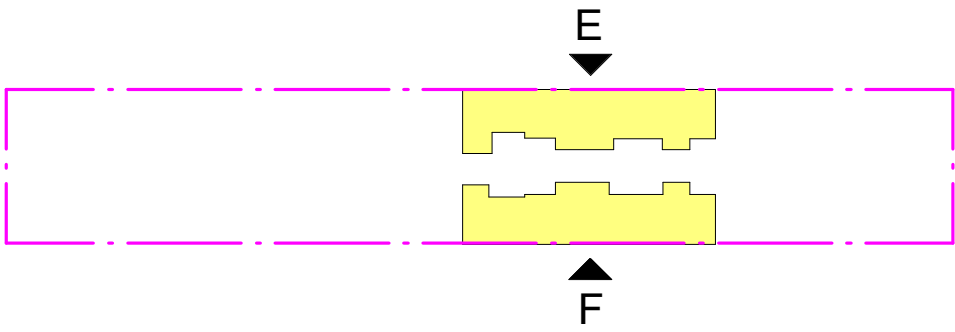
JOB No.	BVR422	DWG No.	DA.203 B
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Development Application

NOT For Construction

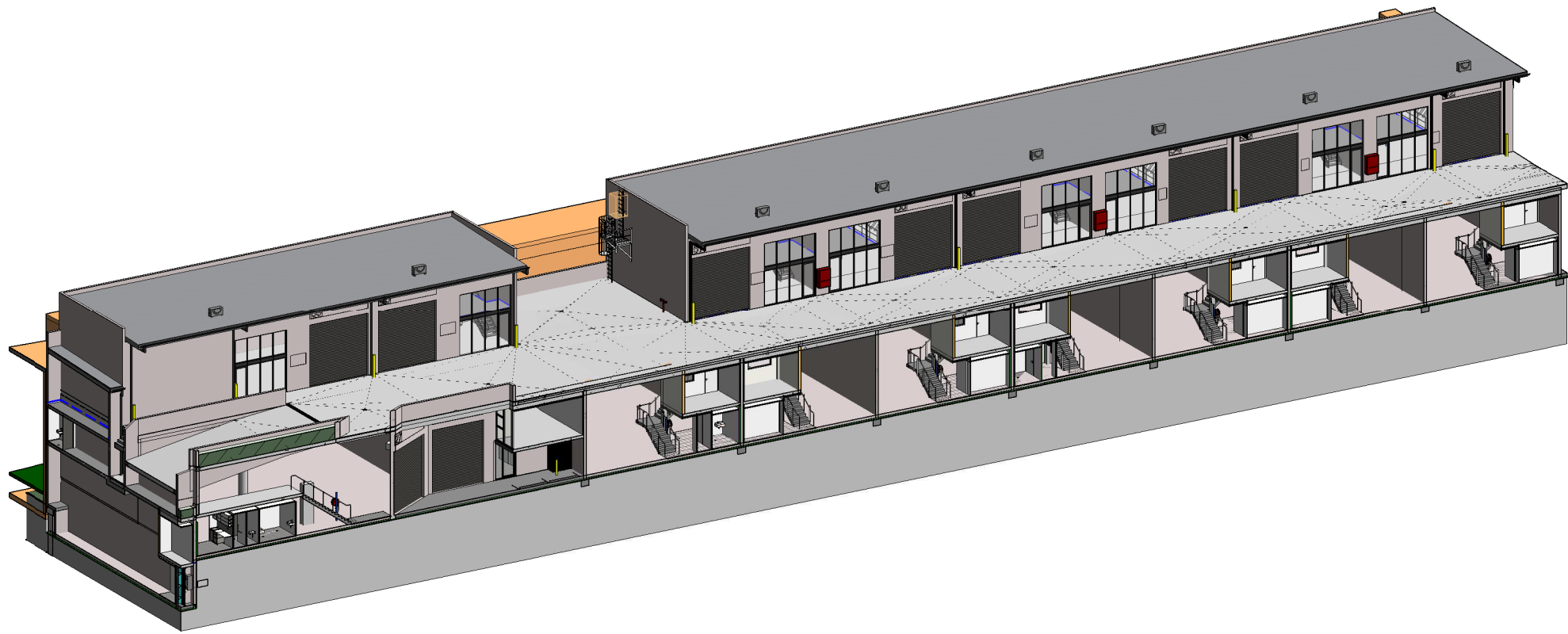
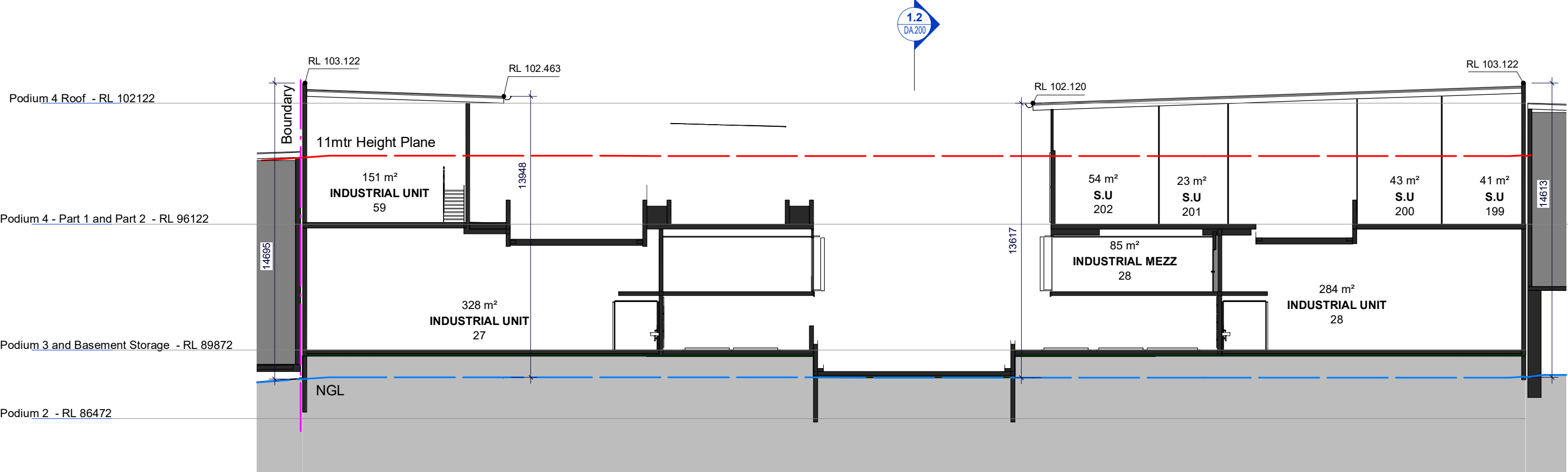


Key Plan



1 Podium 3 - Section N-S Part 2

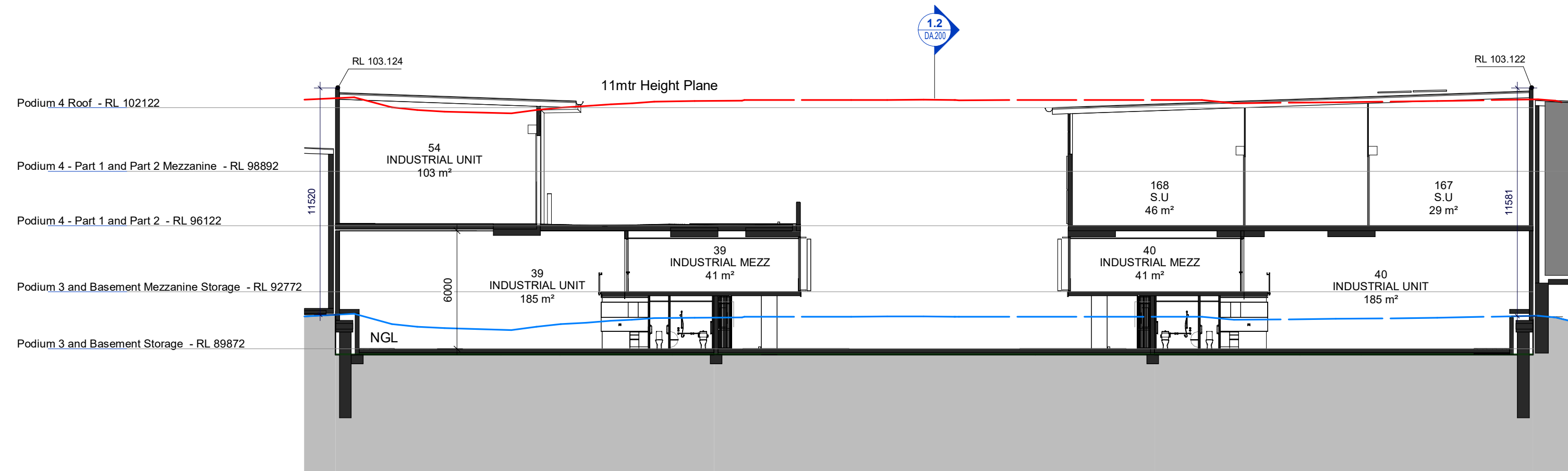
1 : 200



3D View Podium 3 - Section View Area 'E'

2 Podium 3 - Turner Road Section EW-A

1 : 200



3 Podium 3 - Turner Road Section EW-B

1 : 200

B DA Amended Plans  
A Issue for Development Application  
11.07.2022  
18.05.2022

Rev	Description	Date
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Toth & Partners Pty Ltd

6/60 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title

Proposed Podium 3 Sections E-F

Scale A1 @ As indicated Date September 2022

JOB No. DWG No.

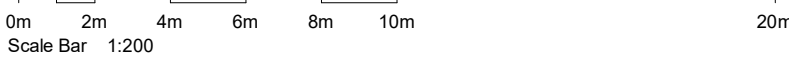
BVR422

DA.204 B

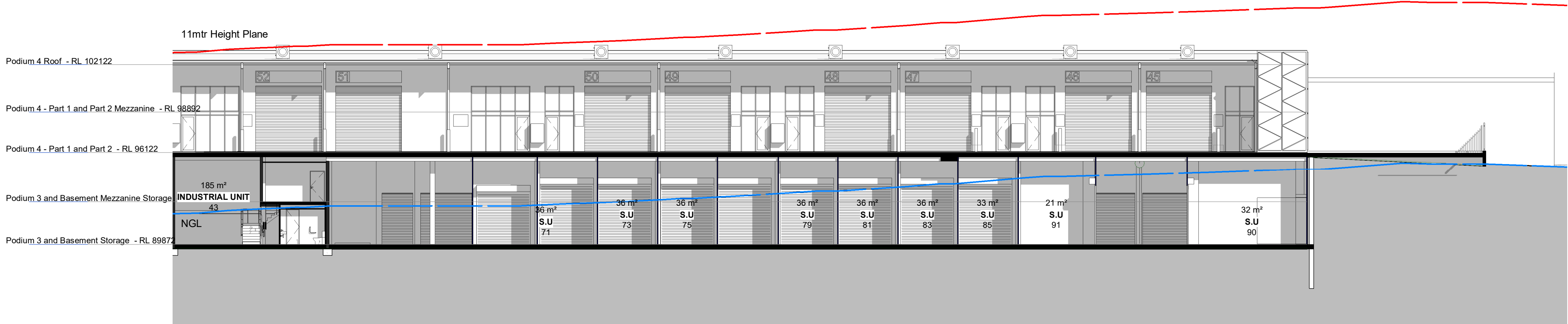
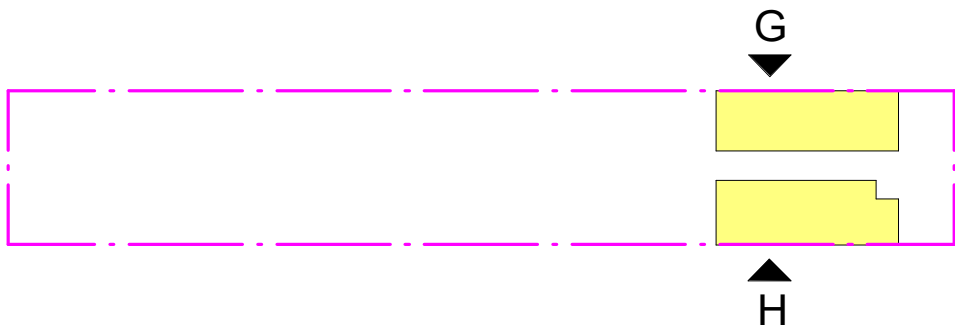


Development Application

NOT For Construction

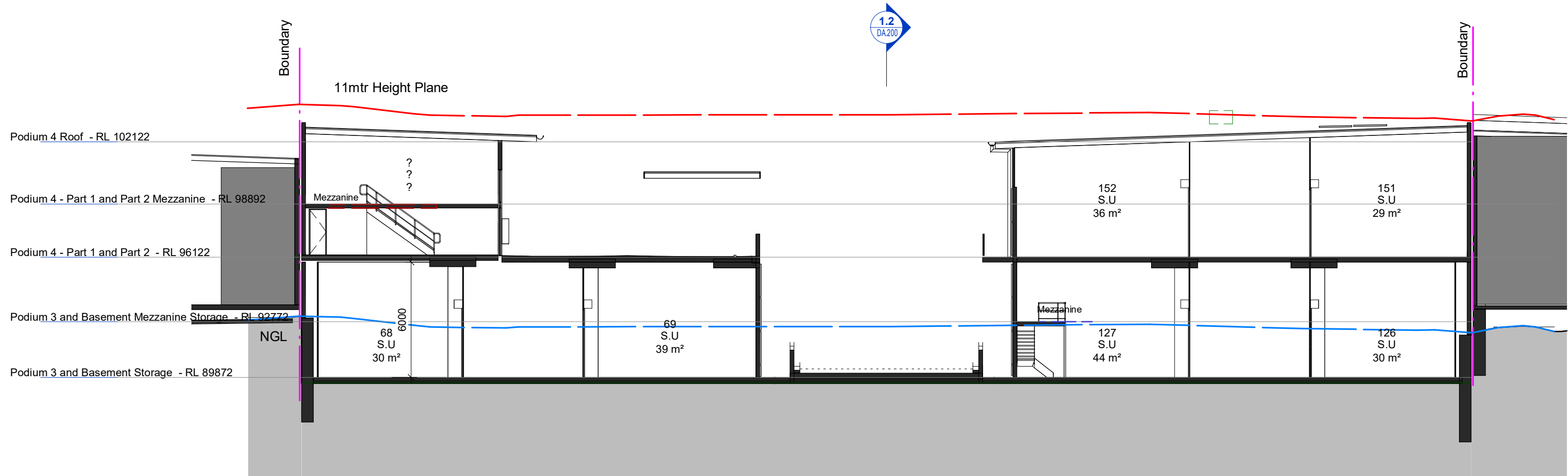


Key Plan



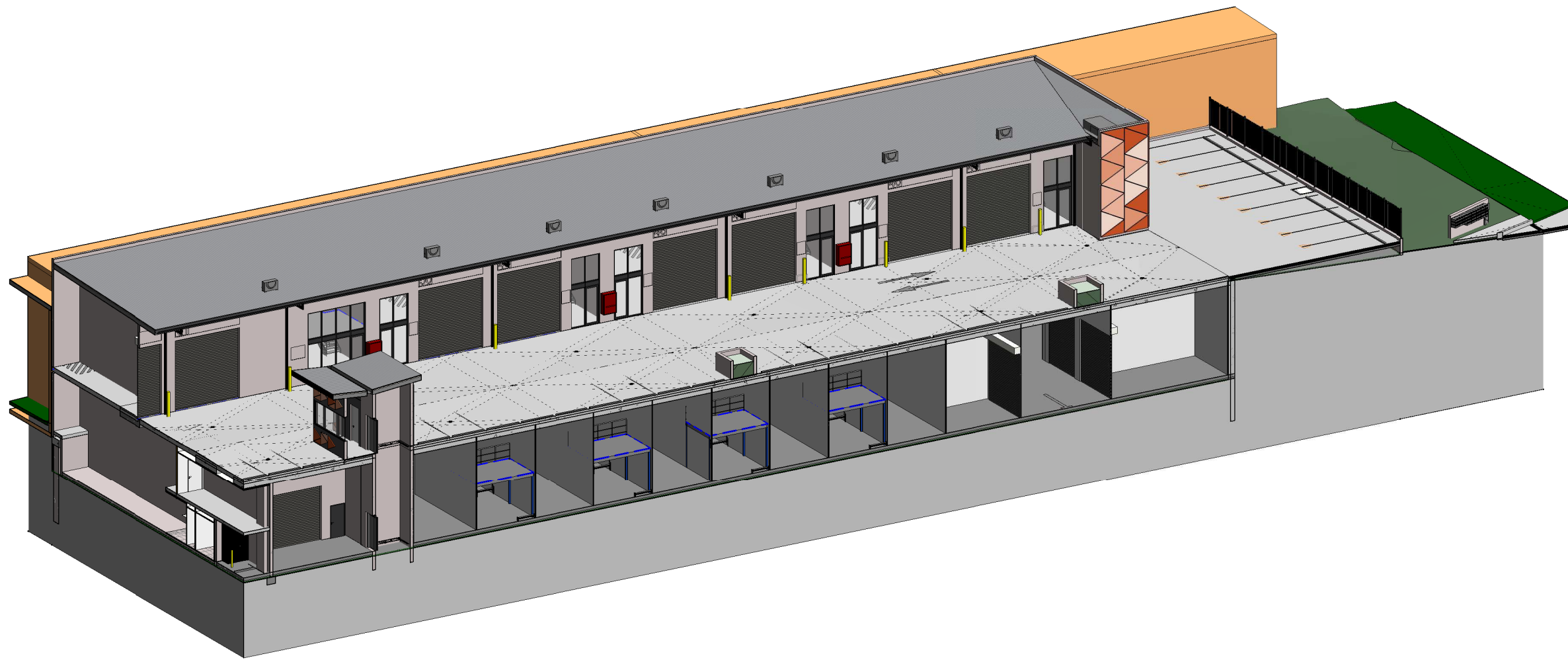
1 Podium 4 - Section N-S Part 1

1 : 200



2 Podium 4 - Section EW-AA

1 : 200



3D View Podium 4 - Section View Area 'G'

B DA Amended Plans 11.07.2022  
A Issue for Development Application 18.05.2022

Rev	Description	Date
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Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title  
Proposed Podium 4 Sections G-H

Scale A1 @ As indicated Date September 2022

JOB No. BVR422 DWG No. DA.205 B

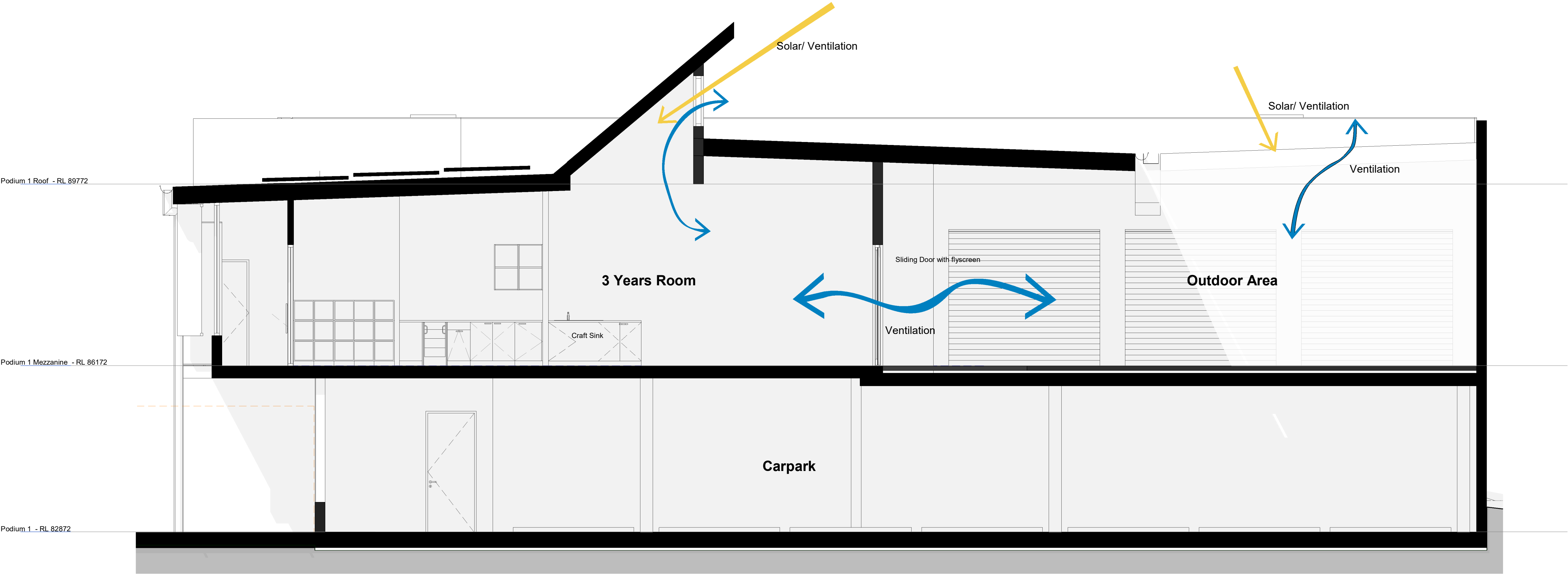
General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD)

Levels Prefixed With 'RL' Are Interpreted From Existing Survey Information. Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions To Be Verified On Site (VOS) Prior To Construction / Manufacture.



A Issue for Council Review 15.09.2022

Rev	Description	Date
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Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

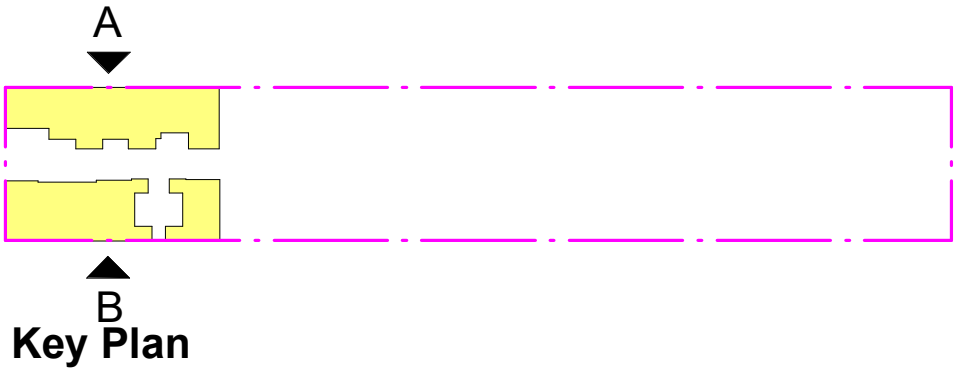
Title  
Childcare First Floor Section

Scale A1 @ 1 : 50 Date September 2022

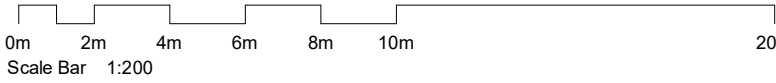
JOB No. DWG No.

BVR422 DA.206 A

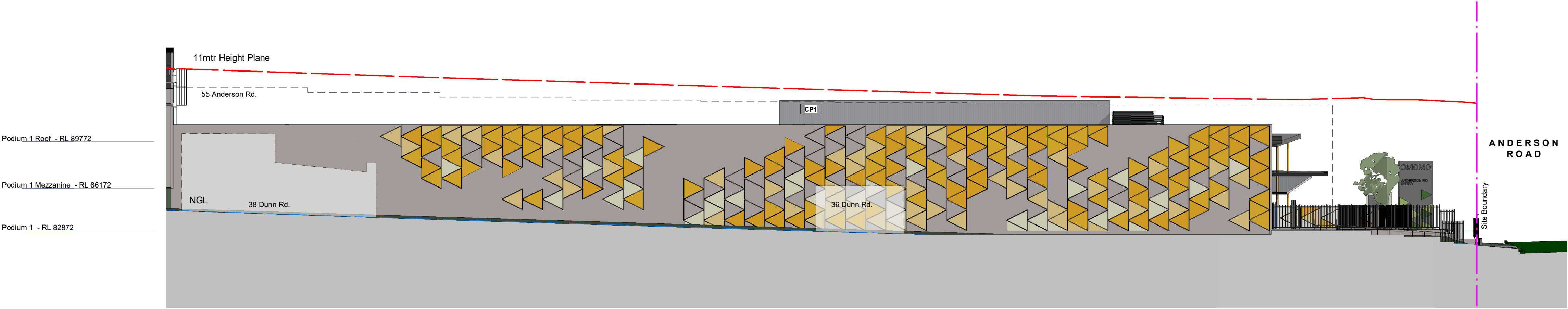




Development Application

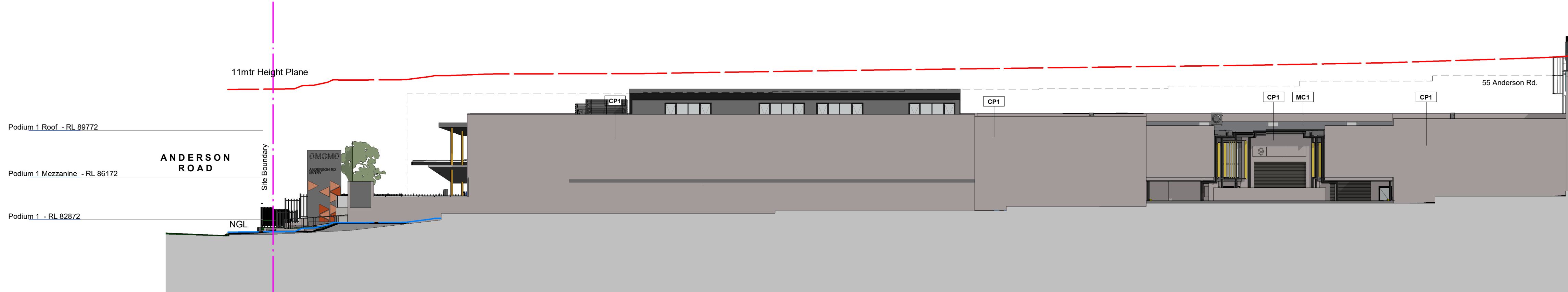


Code	Description
CP1	Precast Concrete Panel Standard Finish - Refer Finishes Schedule
MC1	Metal Cladding - Roof - Refer to Finishes Schedule



1.0 North-West Elevation A

1 : 200



1.1 South-East Elevation B

1 : 200

Material Palette

Concrete Wall	Roof Cladding	Wall Cladding		Roller Doors and Door Frames	Glazing Frames Downpipes / Fencing	Vertical Fins
CP1	MC1	MC2	WC1	PC1	PC2	PC3
Tilt Up Concrete panel - Natural Finish	Lysaght Trimdek: Colour - Zincalume	MetcroInspir: Colour - Colortbond Astro	Cemintel Cladding Surround™ Whiteash Base Code: 162870	Dulux Duratec Zeus Col. woodland-grey 27272555_satin	Dulux Duratec Zeus Col. Monument	Dulux Alphatec Col. Lemon Yellow 98432120_Gloss

Concrete Wall Paint OR EQUAL AND APPROVED (OEA)

P1	P2	P3	P4
Dulux White Duck Half A216 / S16B1H	Dulux Open Melon A193 / S16G9	Dulux Medas Touch A170 / S14H7	Dulux Sunbound A206 / S16H5

Shade Sail

SS
Sandy colour

General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD)

Levels Prefixed With 'RL' Are Interpreted From Existing Survey Information. Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.

B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
-----	-------------	------

Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title

Proposed Podium 1 Elevations A-B

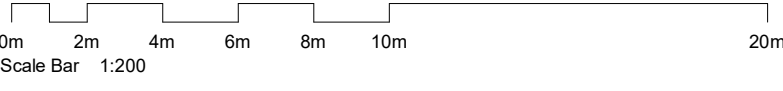
Scale	A1 @	As indicated	Date	September 2022
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JOB No. BVR422 DWG No.

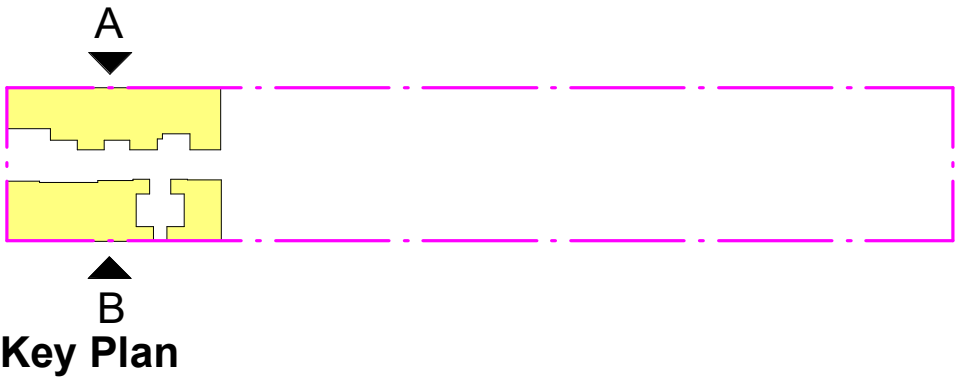
BVR422

DA.300 B

Development Application



Code	Description
09000	Precast Concrete Panel Standard Finish - Refer Finishes Schedule
CP1	Precast Concrete Panel Standard Finish - Refer Finishes Schedule
MC1	Metal Cladding - Roof - Refer to Finishes Schedule
P1	Dulux Wash and Wear Low Sheen Paint Finish (OEA) - External Walls - Refer to FFE Schedule
P3	Dulux Wash and Wear Low Sheen Paint Finish (OEA) - External Walls - Refer to FFE Schedule
PC1	Powdercoat Finish to Roller Doors and Door Frames - Refer to Finishes Schedule
PC2	Powdercoat Finish to Glazing Frames, Downpipes & Fencing - Refer to Finishes Schedule
PC3	Powdercoat Finish to Vertical Fins - Refer to Finishes Schedule
PC31	Powdercoat - Childcare External Elements - Refer to Finishes Schedule



1.0 Elevation Anderson St.

1 : 200



1.1 South\_East Elevation Internal A

1 : 200



1.2 North-West Elevation Internal B

1 : 200

Material Palette

Concrete Wall	Roof Cladding	Wall Cladding		Roller Doors and Door Frames	Glazing Frames Downpipes / Fencing	Vertical Fins	Concrete Wall Paint OR EQUAL AND APPROVED (OEA)	Shade Sail	Childcare, Roller Doors, Vertical Fins, Circular columns	Childcare, Vertical Fins / Flashing
CP1	MC1	MC2	WC1	PC1	PC2	PC3	P1	SS	PC30	PC31
Tilt Up Concrete panel - Natural Finish	Lysaght Trimdek Colour - Zincalume	MetecnoInspire Colour - Colorbond Astro	Cemintel Cladding Surround™ Whiteish Base Code: 162670	Dulux Duratec Zeus Col. woodland-grey 2727255S_satin	Dulux Duratec Zeus Col. Monument	Dulux Alphatec Col. Lemon Yellow 98432120_Gloss	Dulux White Duck Half A216 / S16B1H	Sandy colour	Dulux Duratec Intensity Sunshine Gloss 90N2084G	Dulux Duratec Intensity Leaf Satin 90N6167S

**General Notes:**

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

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All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.

B DA Amended Plans  
A Issue for Development Application  
11.07.2022  
18.05.2022

Rev	Description	Date
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Toth & Partners Pty Ltd

6/60 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title

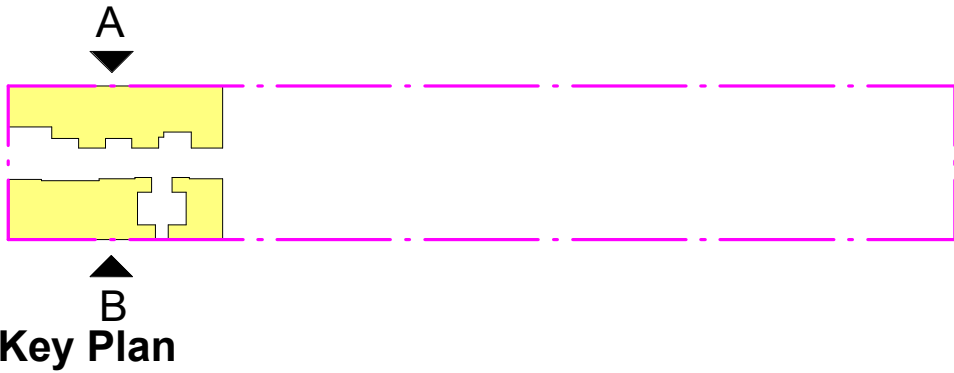
Proposed Podium 1 Elevations A-B

Scale A1 @ As indicated Date September 2022

JOB No. DWG No.

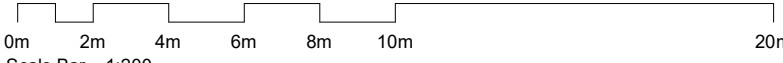
BVR422 DA.301 B





Development Application

NOT For Construction

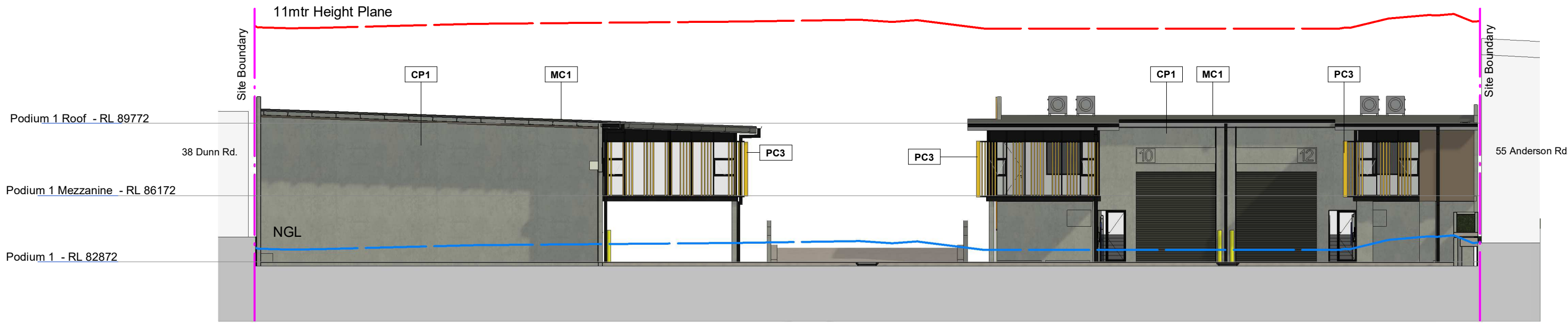


Code	Description
CP1	Precast Concrete Panel Standard Finish - Refer Finishes Schedule
MC1	Metal Cladding - Roof - Refer to Finishes Schedule
PC1	Powdercoat Finish to Roller Doors and Door Frames - Refer to Finishes Schedule.
PC3	Powdercoat Finish to Vertical Fins - Refer to Finishes Schedule



1.3 North-East Elevation Internal B

1 : 200



1.4 South-East Elevation internal B

1 : 200

Material Palette

Concrete Wall

CP1

Tilt Up Concrete panel - Natural Finish

Roof Cladding

MC1

Lysaght Trimek Colour - Zincalume

Wall Cladding

MC2

MetecnoInspire Colour - Colorbond Astro

Roller Doors and Door Frames

PC1

Dulux Duratec Zeus Col. woodland-grey 2727255S\_satin

Glazing Frames Downpipes / Fencing

PC2

Dulux Duratec Zeus Col. Monument

Vertical Fins

PC3

Dulux Alphatec Col. Lemon Yellow 96432120\_Gloss

Concrete Wall Paint OR EQUAL AND APPROVED (OEA)

P1

Dulux White Duck Half A216 / S16B1H

P2

Dulux Ogen Melon A163 / S16G9

P3

Dulux Midas Touch A170 / S14H7

P4

Dulux Sunbound A206 / S16H5

Shade Sail

SS

Sandy colour

**General Notes:**

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD)

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All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.

B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
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Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

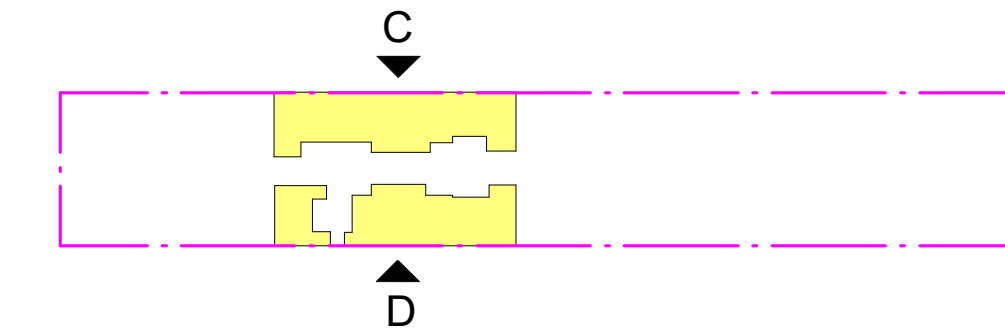
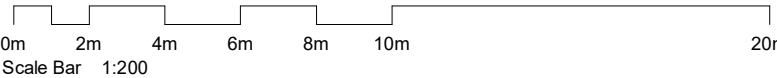
Title

Proposed Podium 1 Elevations A-B

Scale	A1 @	As indicated	Date	September 2022
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JOB No. BVR422 DWG No. DA.302 B

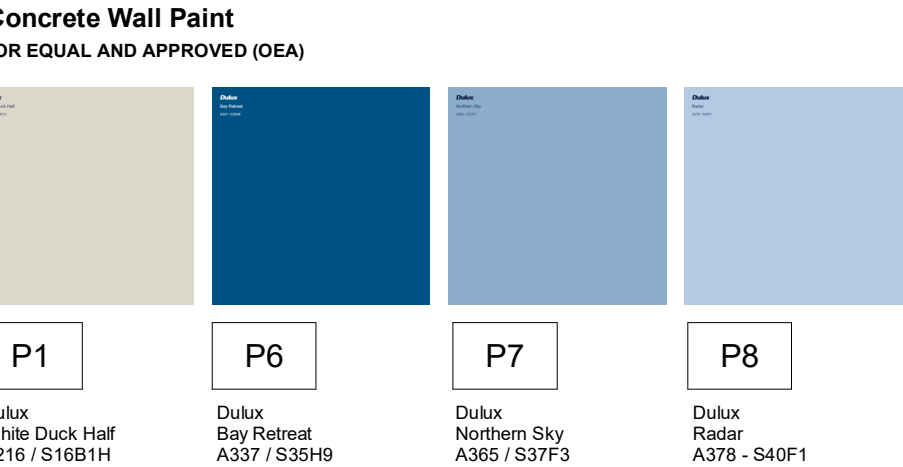
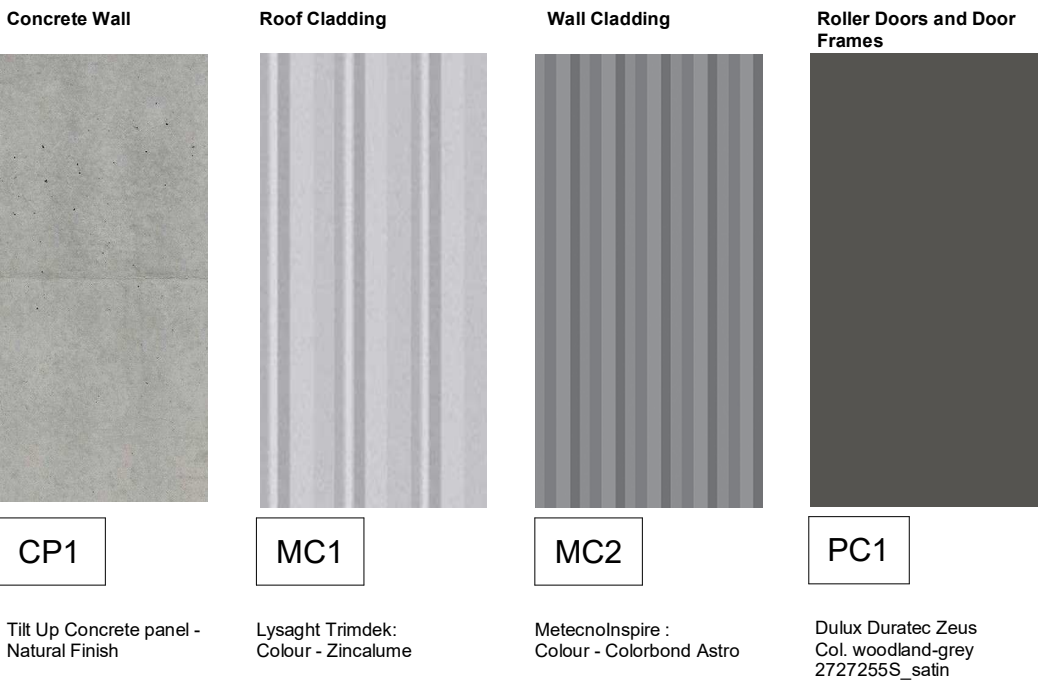
Development Application



Key Plan



Material Palette



C	Issue for Council Review	15.09.2022
B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Toth & Partners Pty Ltd

6/60 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title  
Proposed Podium 2 Elevations C-D

Scale A1 @ As indicated Date September 2022

JOB No. DWG No.

BVR422 DA.303 C

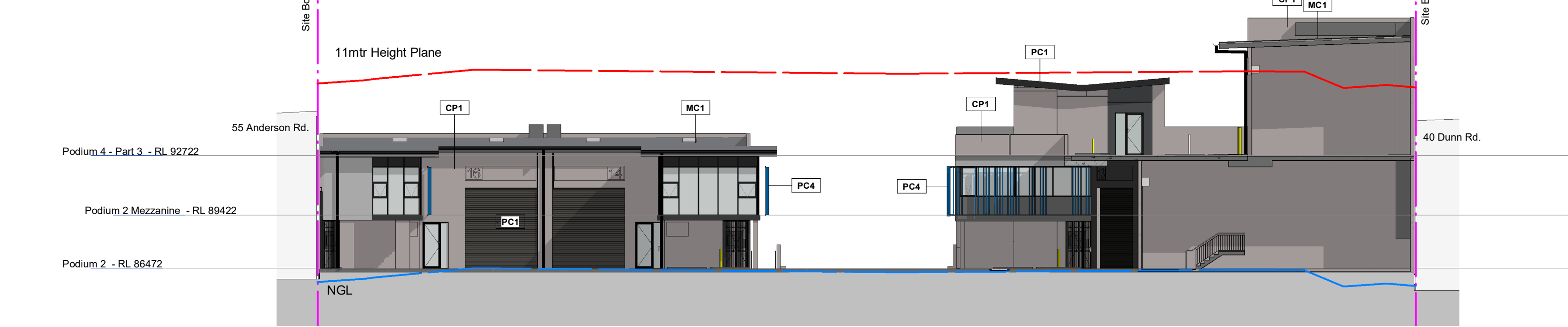
1.0 South-East Elevation C

1 : 200



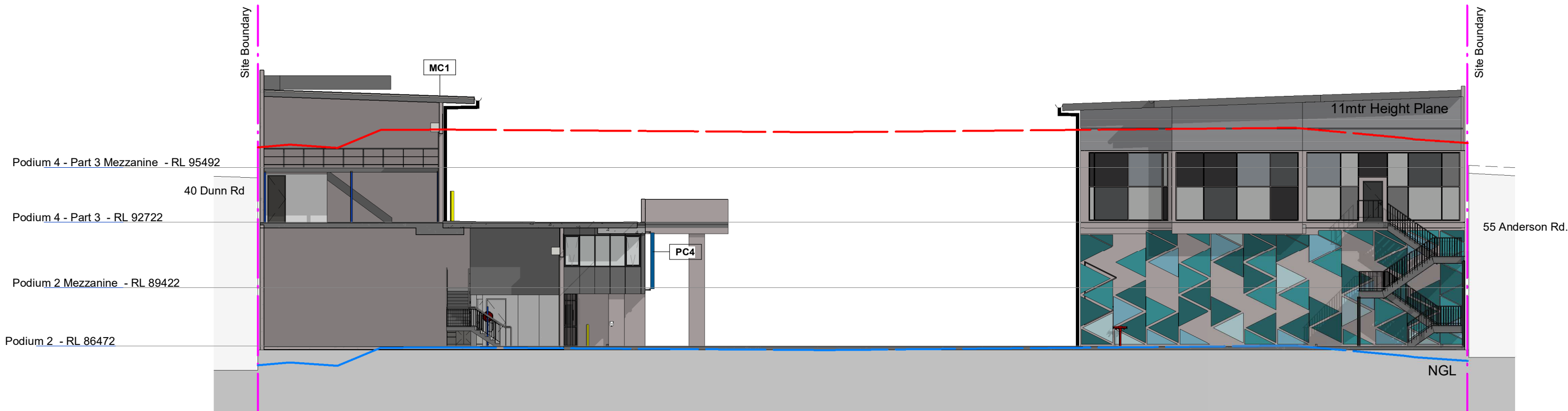
1.1 North-West Elevation D

1 : 200



1.2 North-East Elevation Internal D

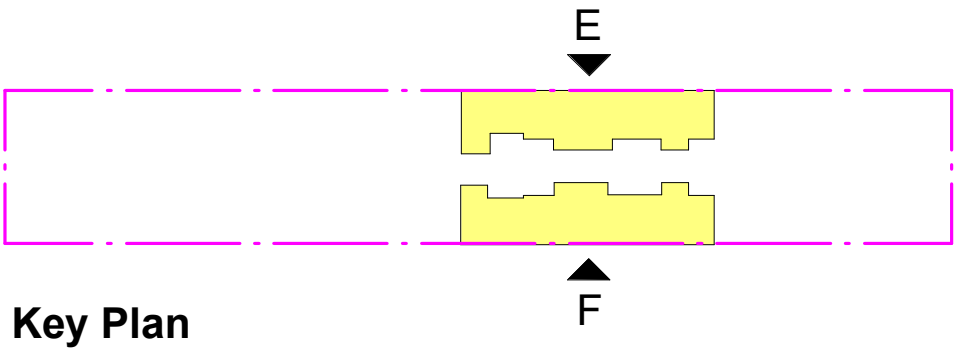
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1.3 South-East Elevation Internal D

1 : 200

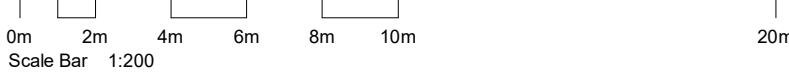




Key Plan

Development Application

NOT For Construction



Code	Description
CP1	Precast Concrete Panel Standard Finish - Refer Finishes Schedule
MC1	Metal Cladding - Roof - Refer to Finishes Schedule
MC2	Metal Cladding - Warehouse External Walls (Upper) - refer to Finishes Schedule
PC5	Powdercoat Finish to Vertical Fins - Refer to Finishes Schedule
SS	Shade Sail. Refer Finishes / FFE Schedule



1.0 South-East Elevation Internal E

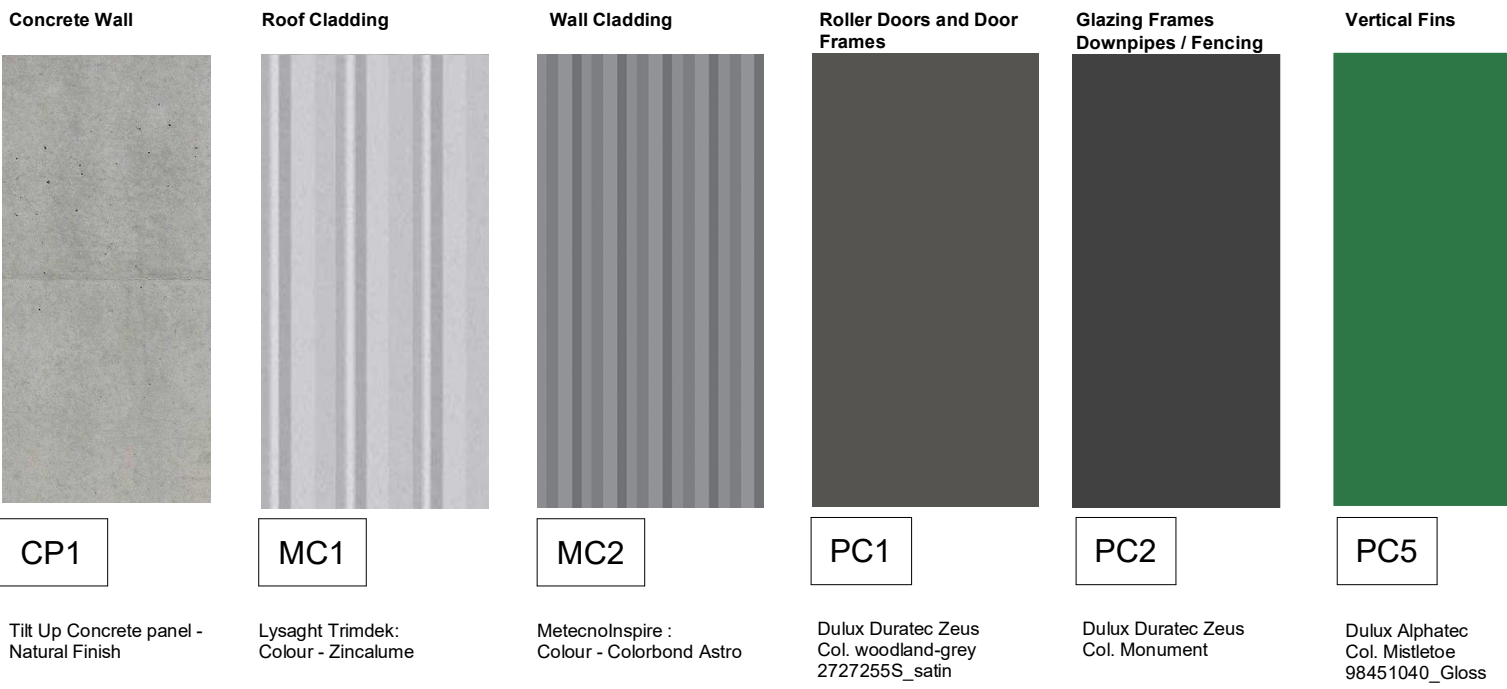
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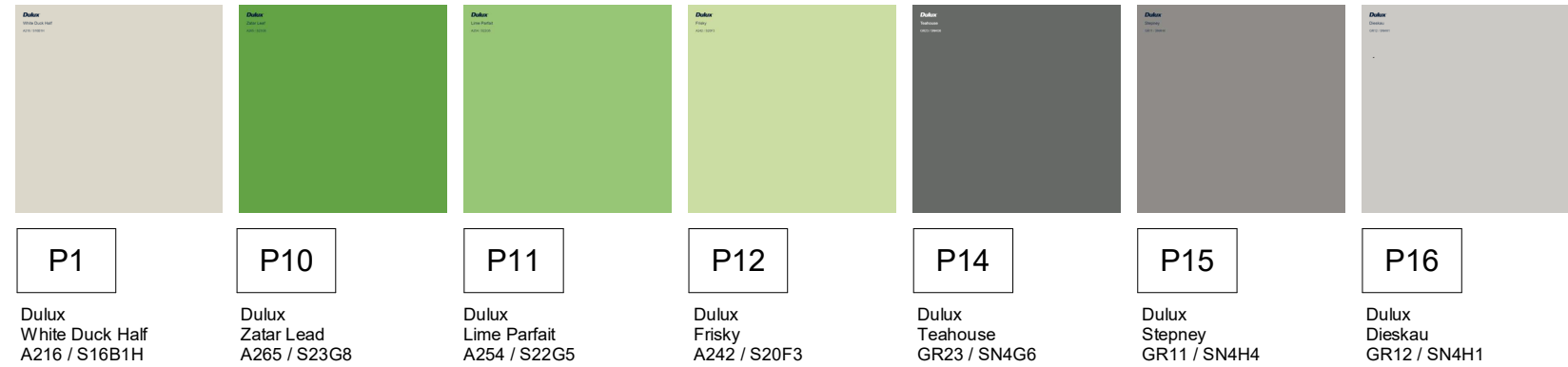
1.1 North West Elevation Internal F

1 : 200

Material Palette



Concrete Wall Paint OR EQUAL AND APPROVED (OEA)



Shade Sail



General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD)

Levels Prefixed With 'RL' Are Interpreted From Existing Survey Information. Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.

C	Issue for Council Review	15.09.2022
B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
-----	-------------	------

Toth & Partners Pty Ltd

6/60 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title

Proposed Podium 3 Elevations E-F

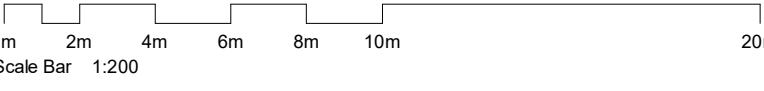
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JOB No. BVR422 DWG No. DA.304 C

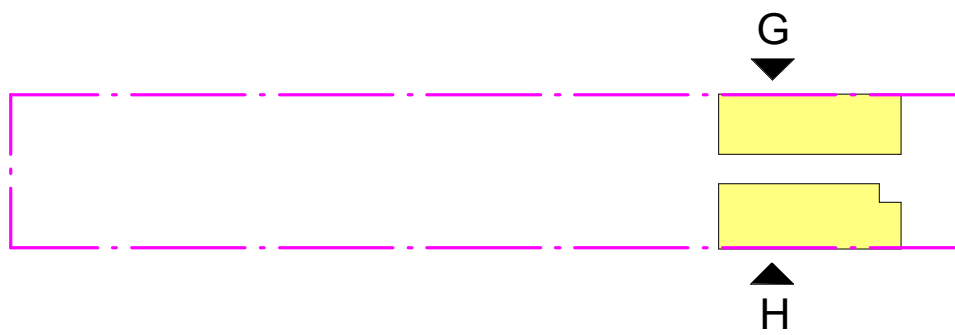


Development Application

NOT For Construction

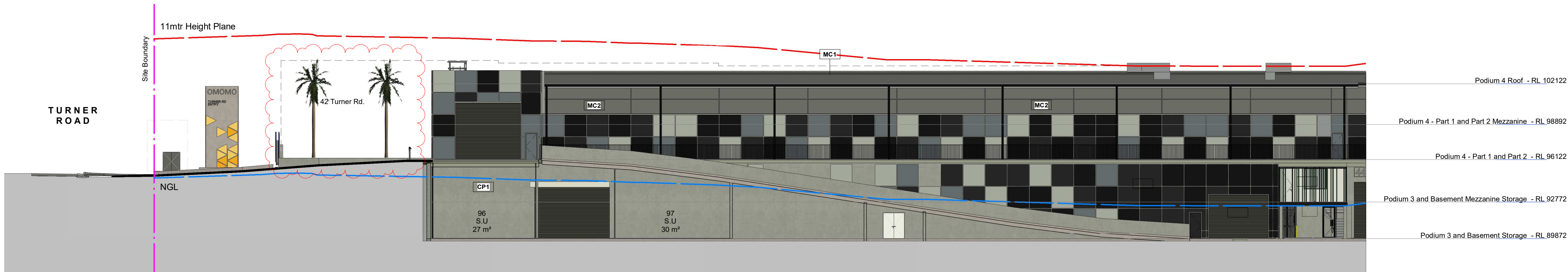


Key Plan



1.0 South-East Elevation Internal G

1 : 200



1.1 North-West Elevation Internal H

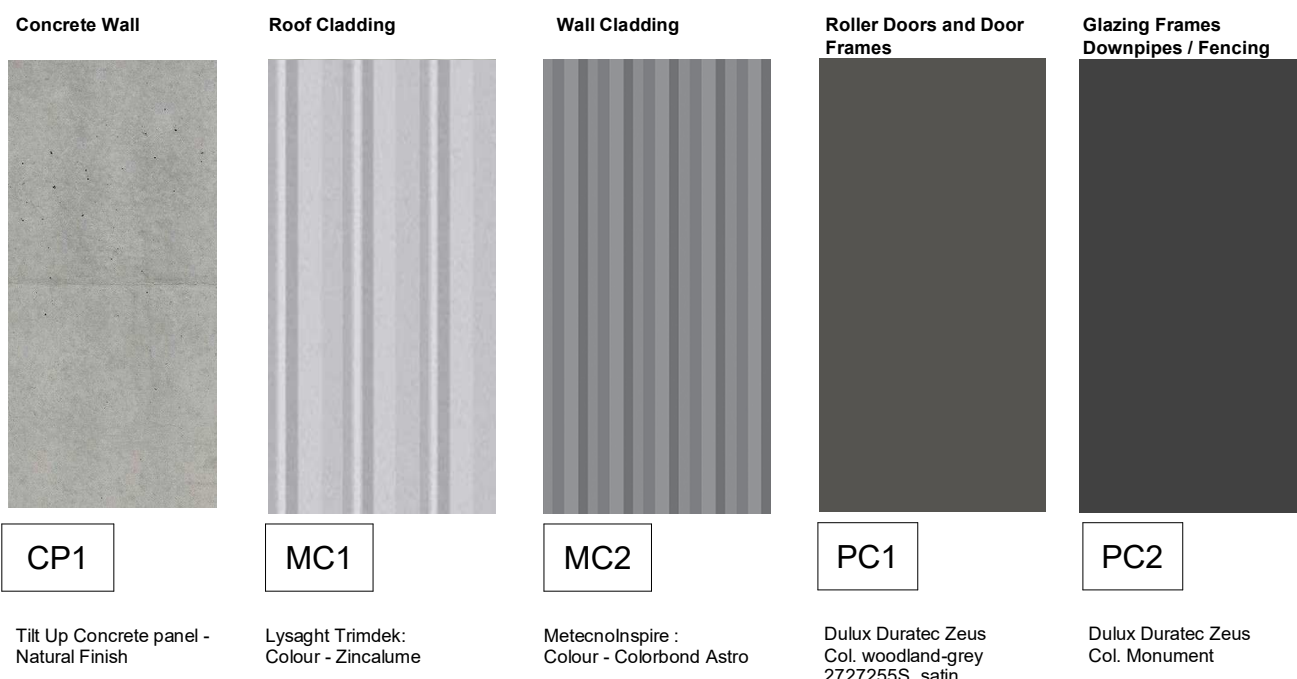
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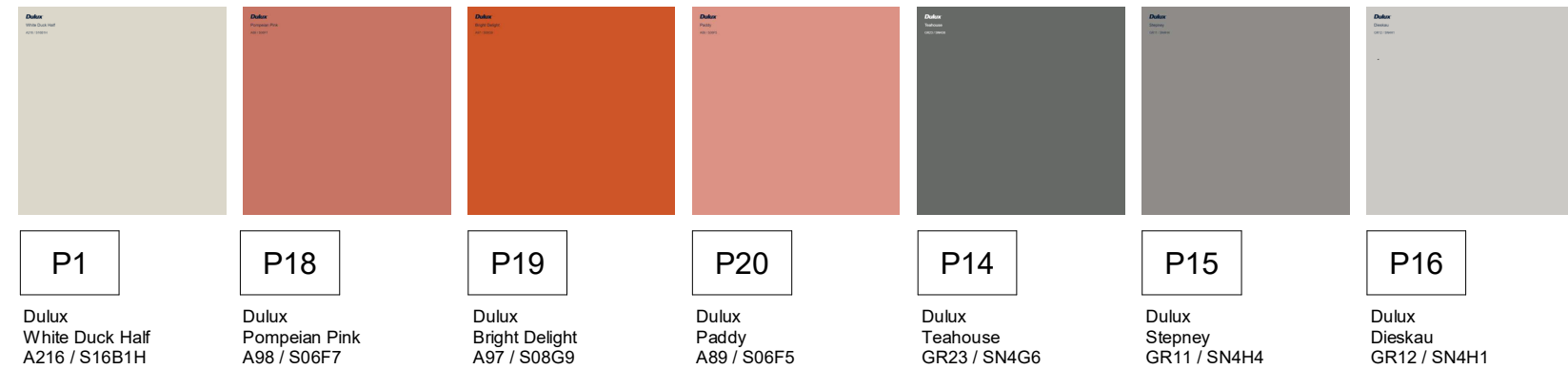
1.2 Tuner Road Elevation

1 : 200

Material Palette



Concrete Wall Paint OR EQUAL AND APPROVED (OEA)



C	Issue for Council Review	15.09.2022
B	DA Amended Plans	11.07.2022
A	Issue for Development Application	18.05.2022

Rev	Description	Date
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Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title  
Proposed podium 4 Elevations G-H

Scale	A1 @	As indicated	Date	September 2022
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JOB No.	BVR422	DWG No.	DA.305 C
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General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD)

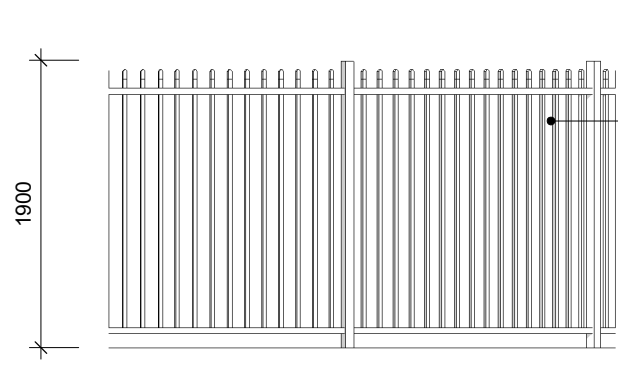
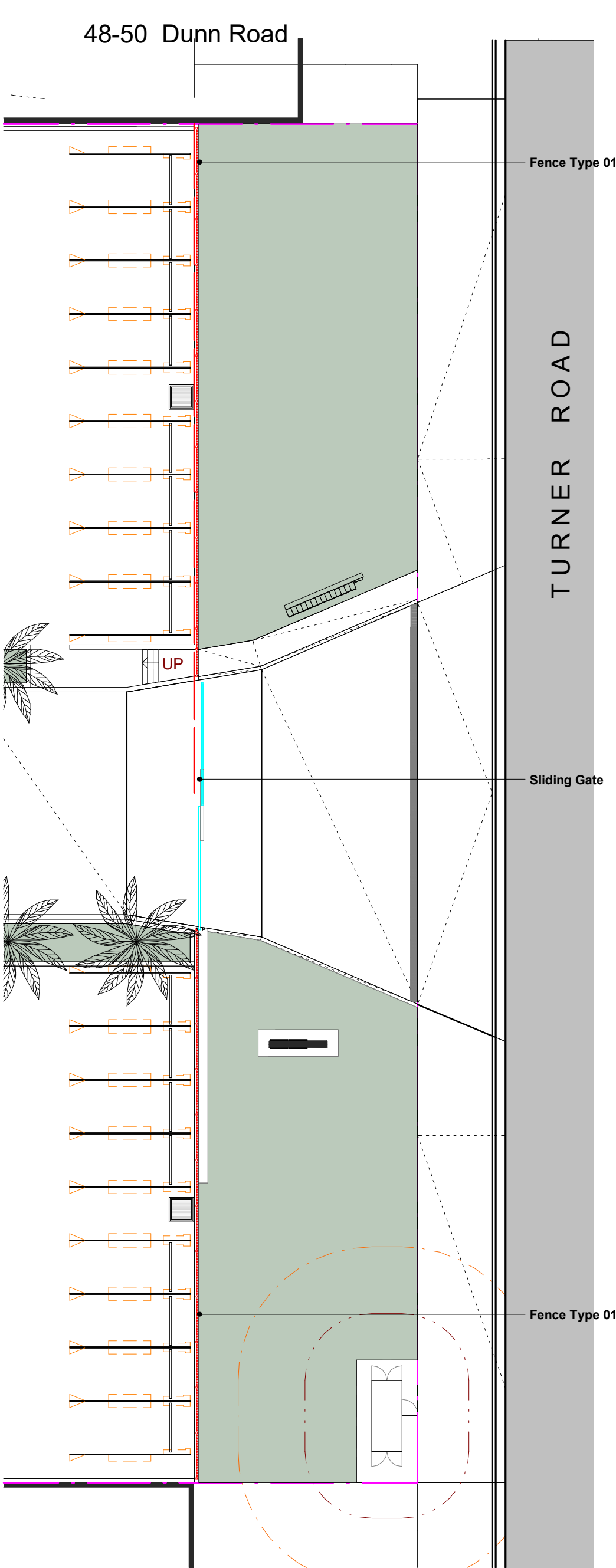
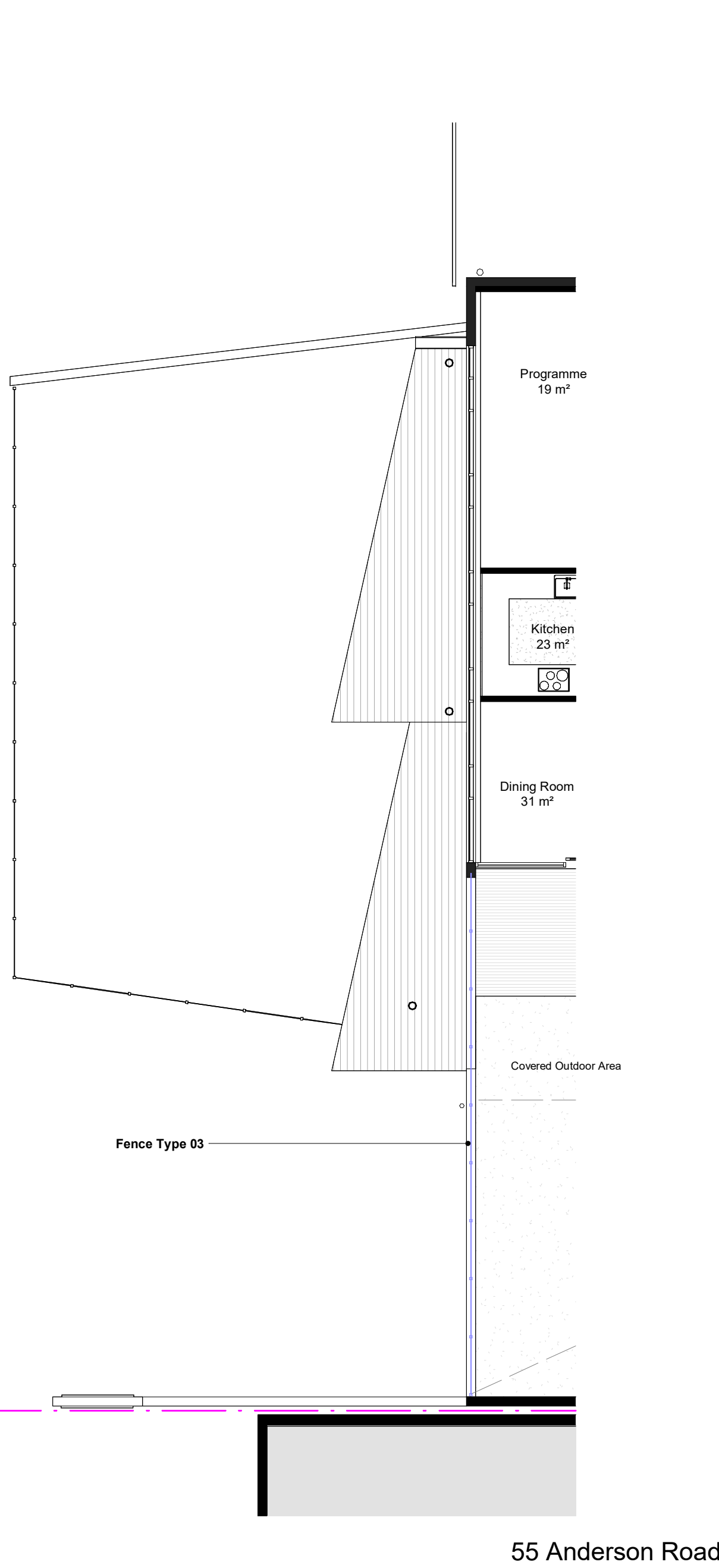
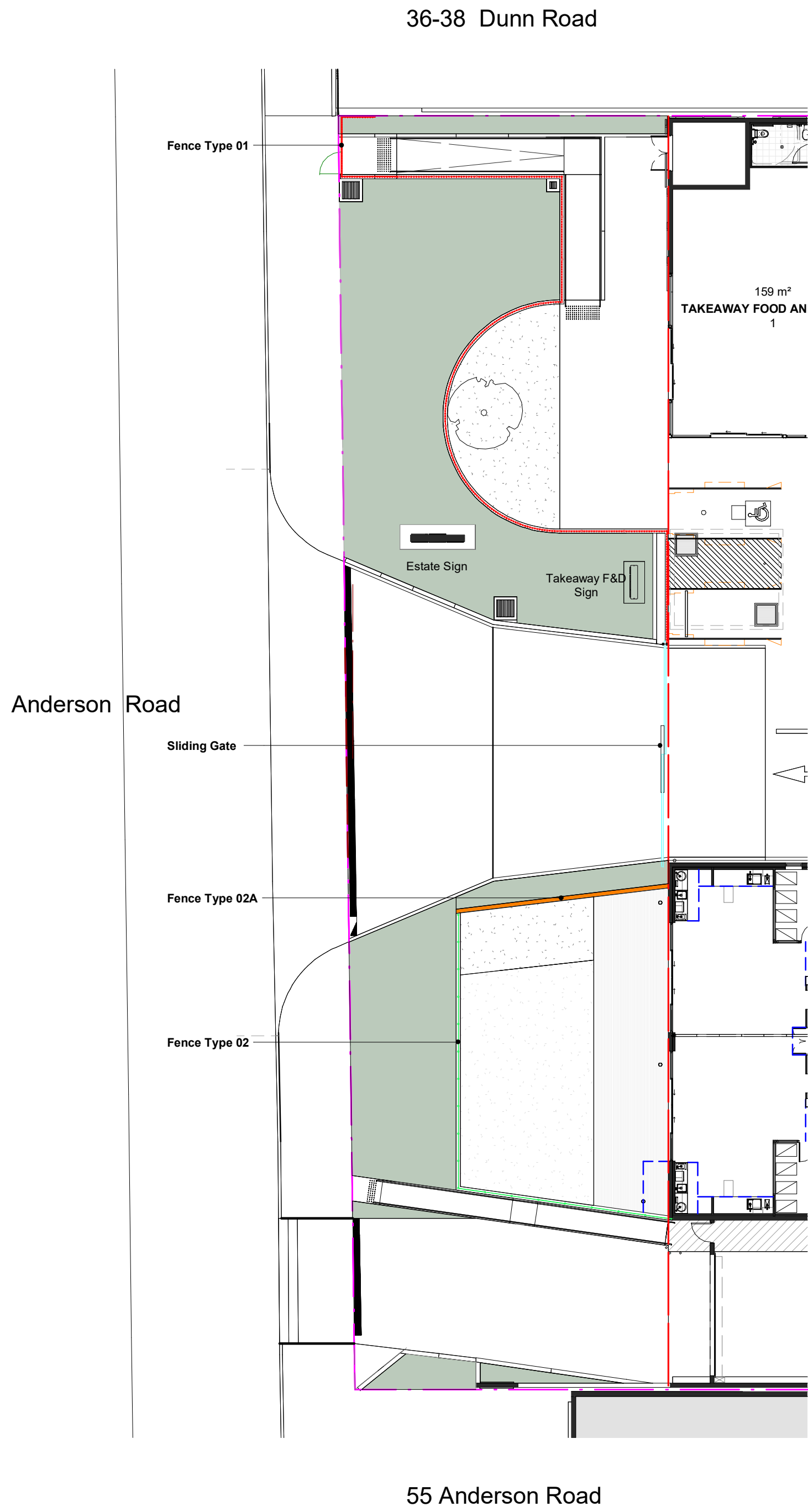
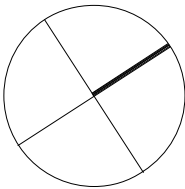
Levels Prefixed With 'RL' Are Interpreted From Existing Survey Information. Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions To Be Verified On Site (VOS) Prior To Construction / Manufacture.

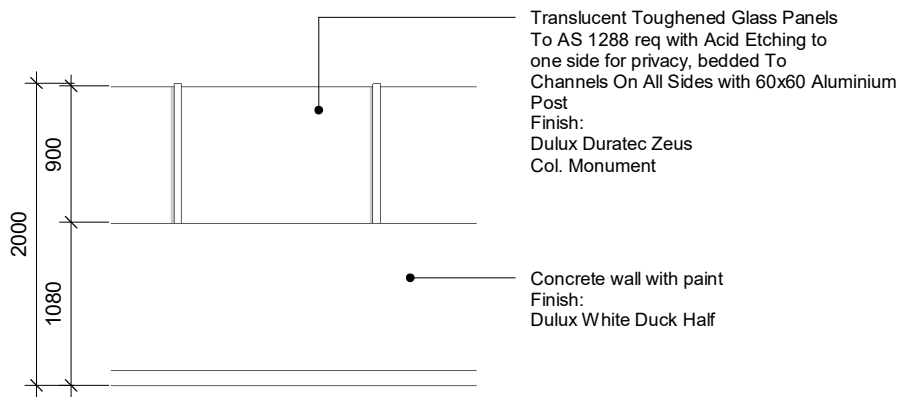


Development Application

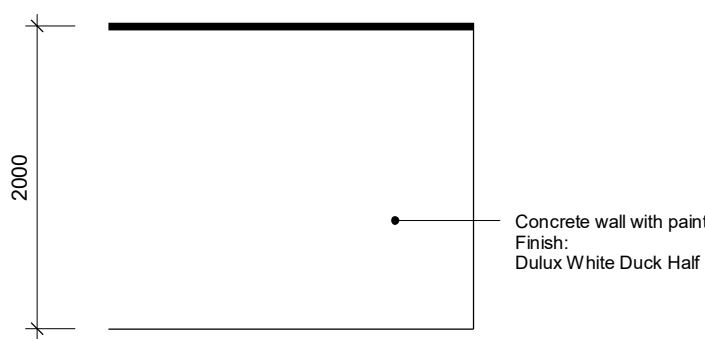
NOT For Construction



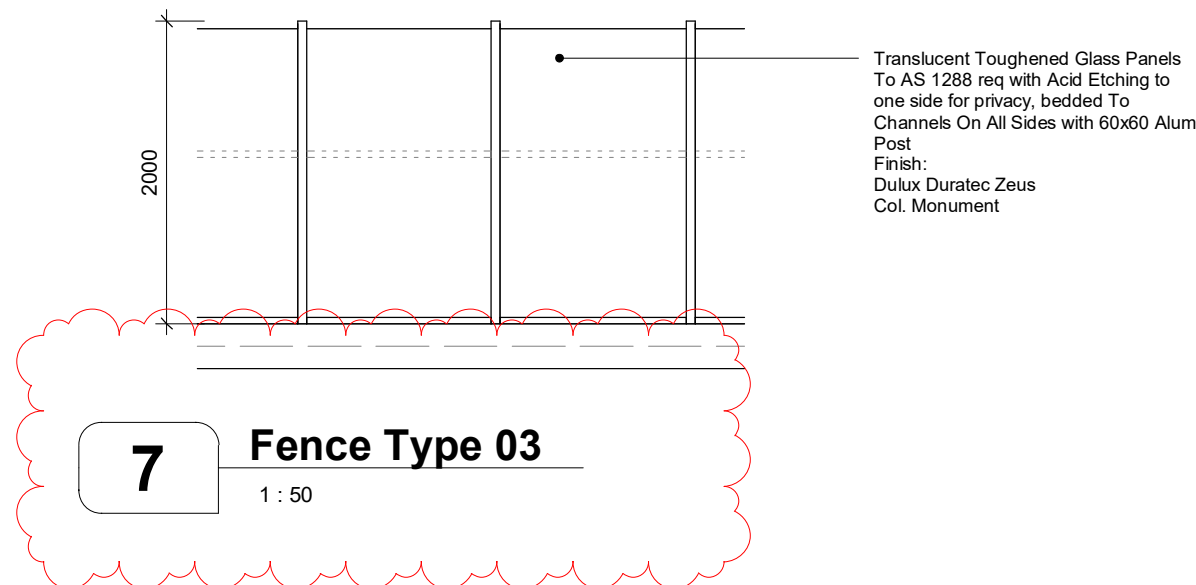
4 Fence Type 01  
1 : 50



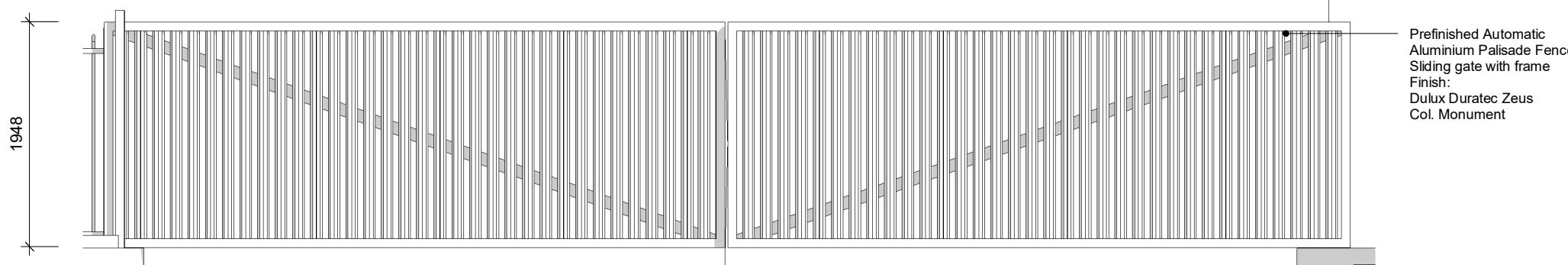
5 Fence Type 02  
1 : 50



6 Fence Type 02a  
1 : 50



7 Fence Type 03  
1 : 50



8 Sliding Gate  
1 : 50

1 Anderson Road Fence Types Plan  
1 : 200

2 Anderson Road Fence Types Plan Childcare Level 1  
1 : 100

3 Turner Road Fence Types Plan  
1 : 200

General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD).

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All Dimensions to be Verified On Site (VOS) Prior To Construction / Manufacture.

B Issue for Council Review 15.09.2022  
A DA Amended Plans 11.07.2022

Rev	Description	Date
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Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title

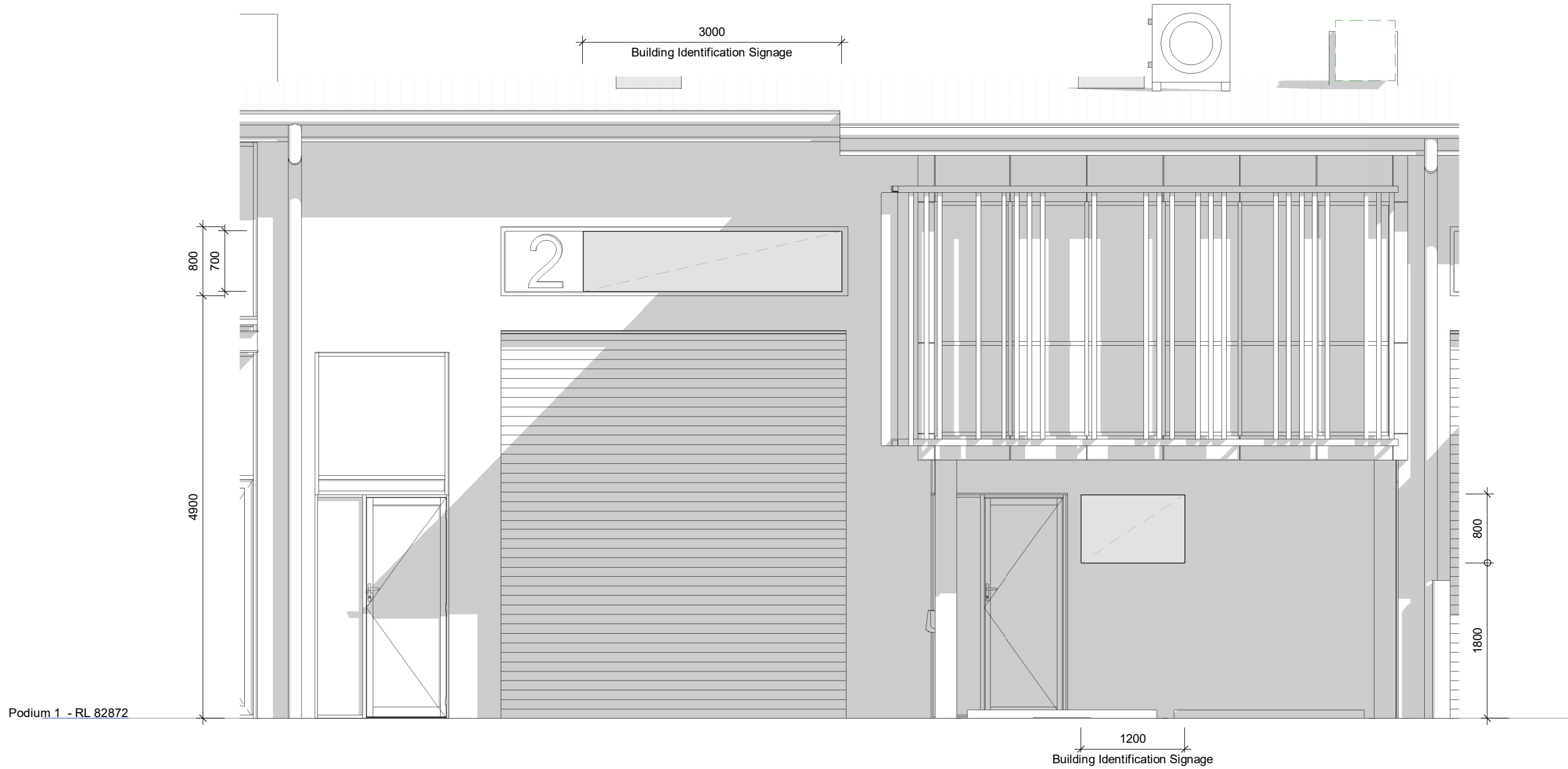
Proposed Fence Types

Scale A1 @ As indicated Date September 2022

JOB No. BVR422 DWG No. DA.800 B



Development Application



**\* Building information sign**  
- Limited to the occupiers' business name and logo.  
No products or general advertising allowed.

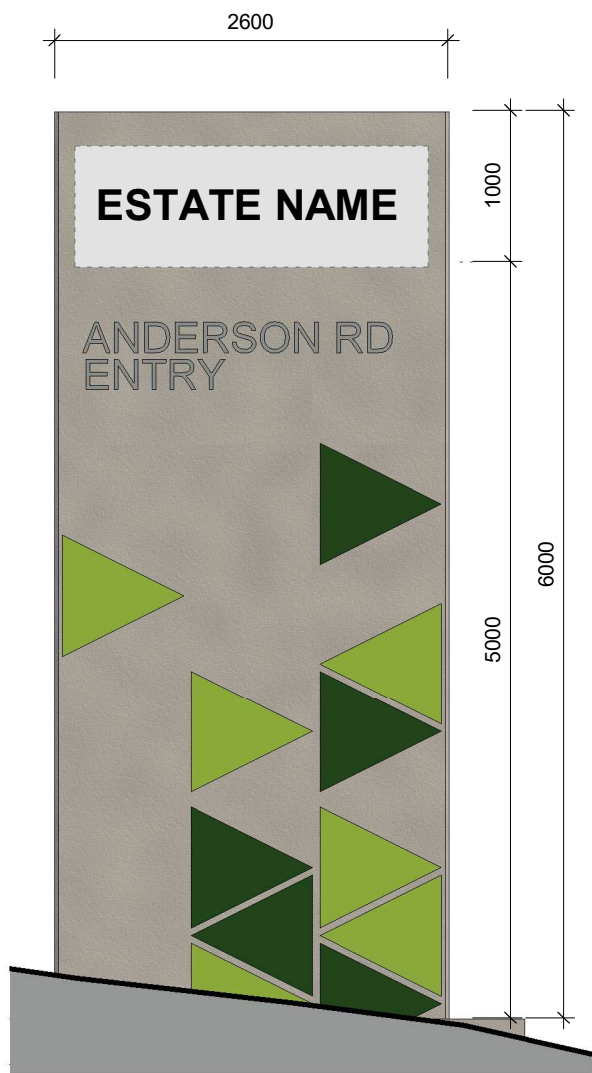
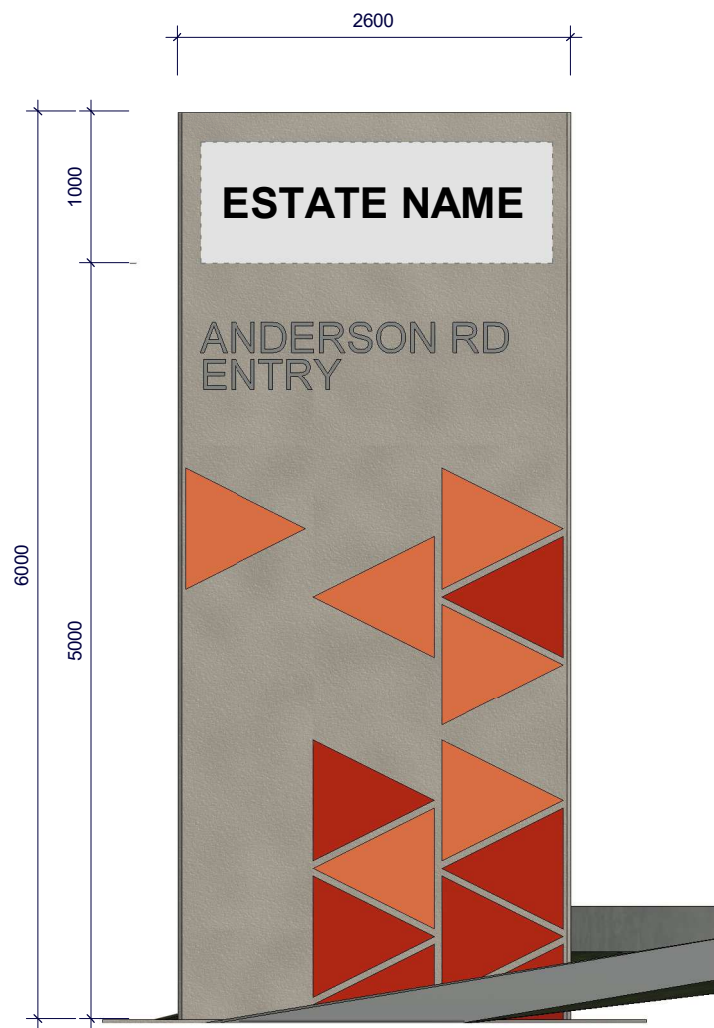
**\* Estate Name**  
- To be confirmed prior to occupation certificate.

1.0 Typical Industrial Unit Signage

1 : 50

1.1 Typical Industrial Unit Signage

1.1



2.0 Estate Sign Anderson Road (Front)

1 : 50

2.1 Estate Sign Anderson Road (Back)

1 : 50

3.0 Estate Sign Tuner Road (Front)

1 : 50

3.1 Estate Sign Tuner Road (Back)

1 : 50

A Issue for Development Application 18.05.2022

Rev	Description	Date
-----	-------------	------

Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title  
Estate Signage

Scale	A1 @	1 : 50	Date	September 2022
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JOB No.	DWG No.
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BVR422

DA.920 A

General Notes:

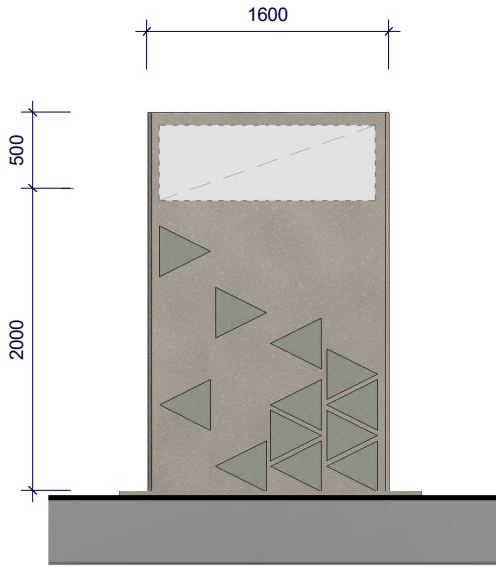
Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD)

Levels Prefixed With 'RL' Are Interpreted From Existing Survey Information. Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

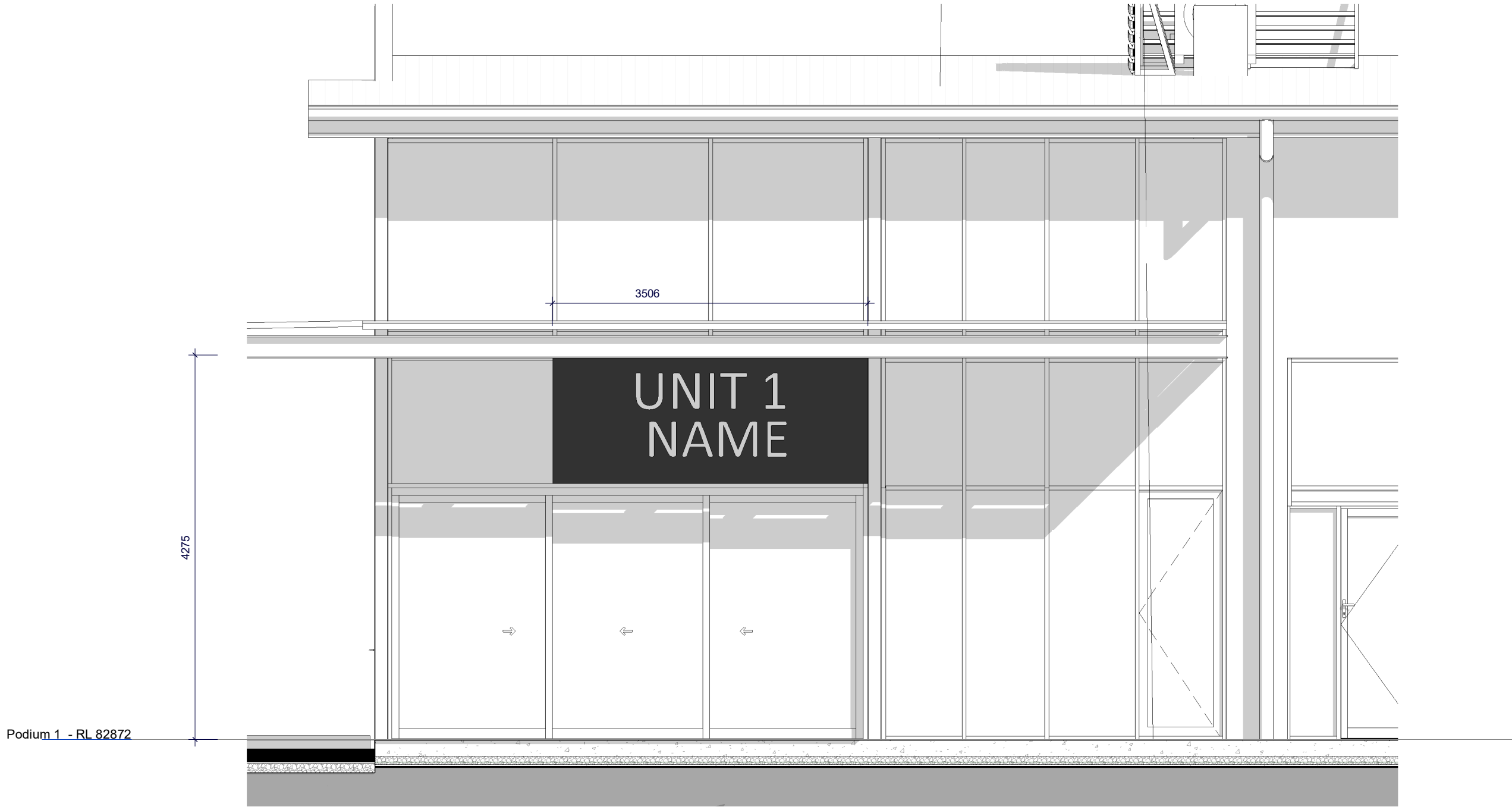
All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.





1.0 Takeaway Food and Drink

1 : 50

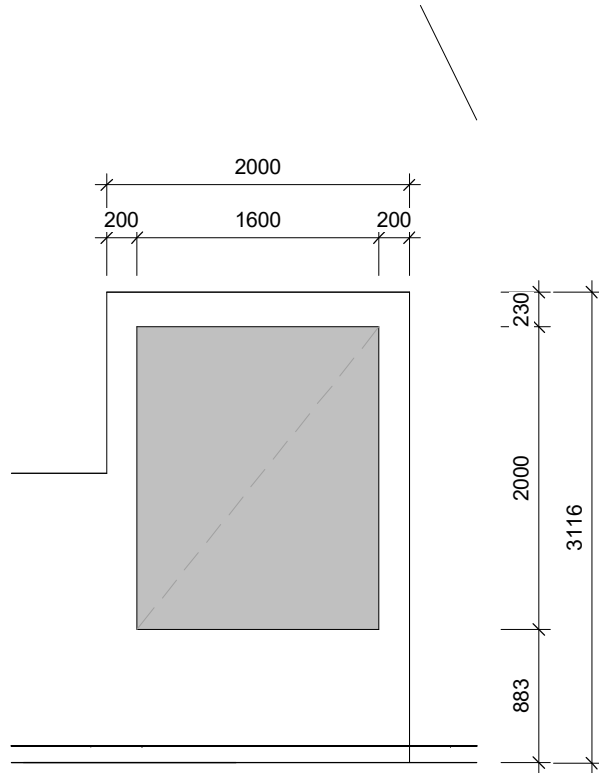


2.0 Takeaway Food and Drink

1 : 50

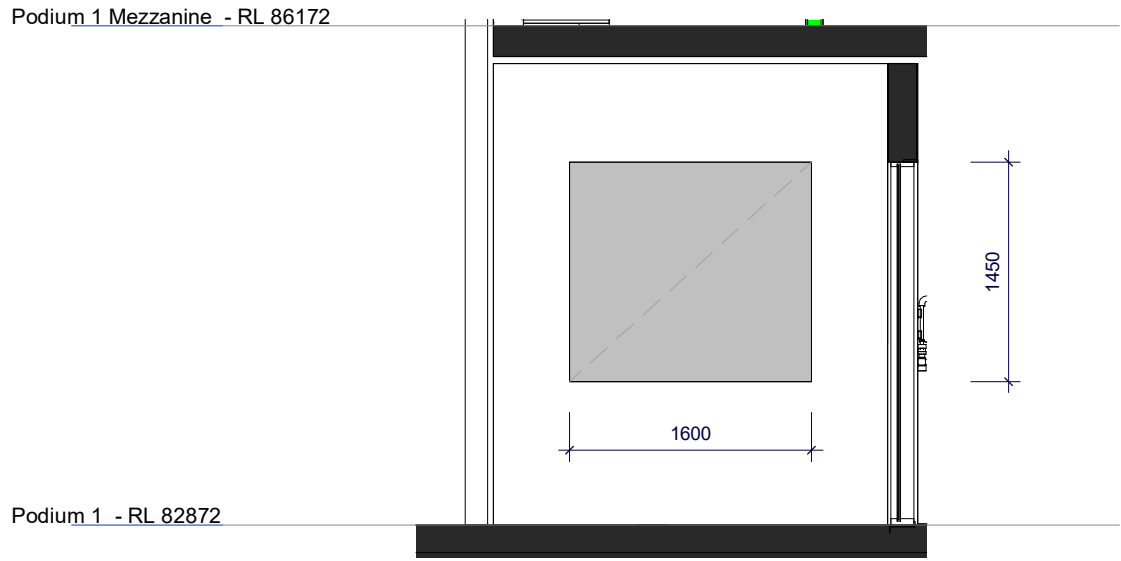


2.1 3D View Takeaway Food and Drink



3.0 Childcare Sign 01

1 : 50



3.1 Childcare Sign 02

1 : 50



4.0 Childcare Sign 02

General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD)

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All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.

A Issue for Development Application 18.05.2022

Rev	Description	Date
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Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title  
Estate Signage

Scale	A1 @	1 : 50	Date	September 2022
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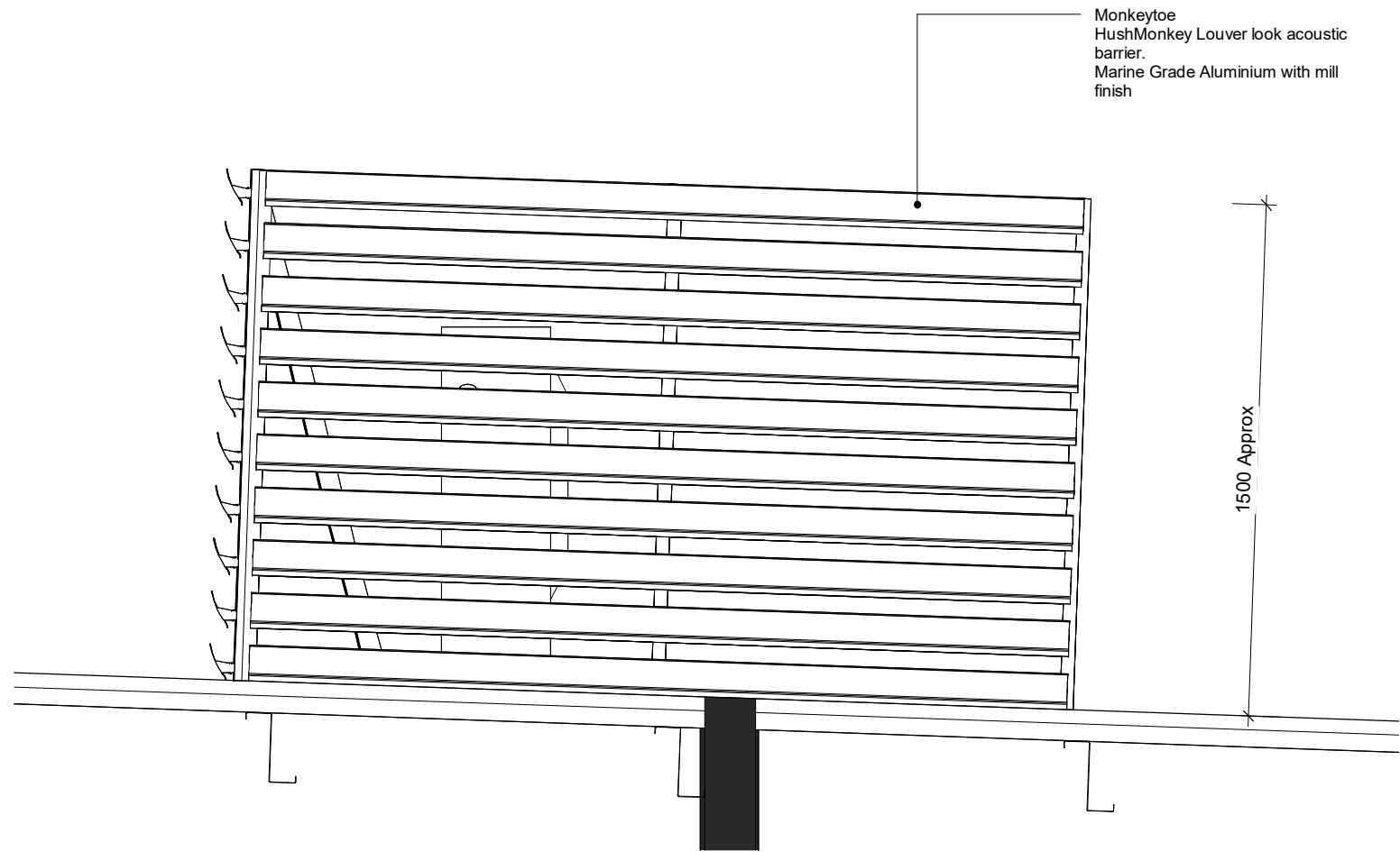
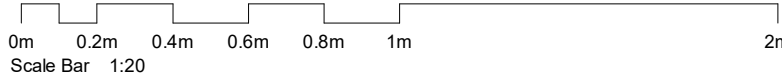
JOB No.	DWG No.
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BVR422 DA.921 A

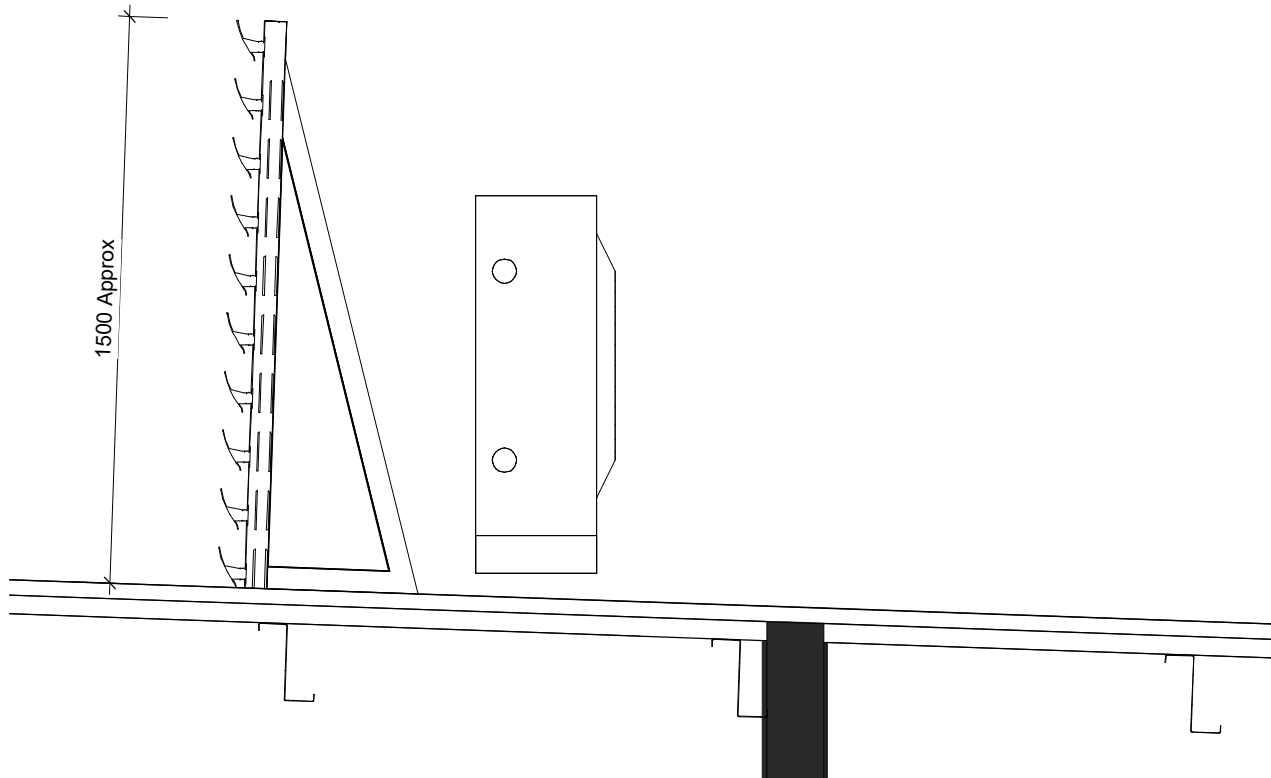


Development Application

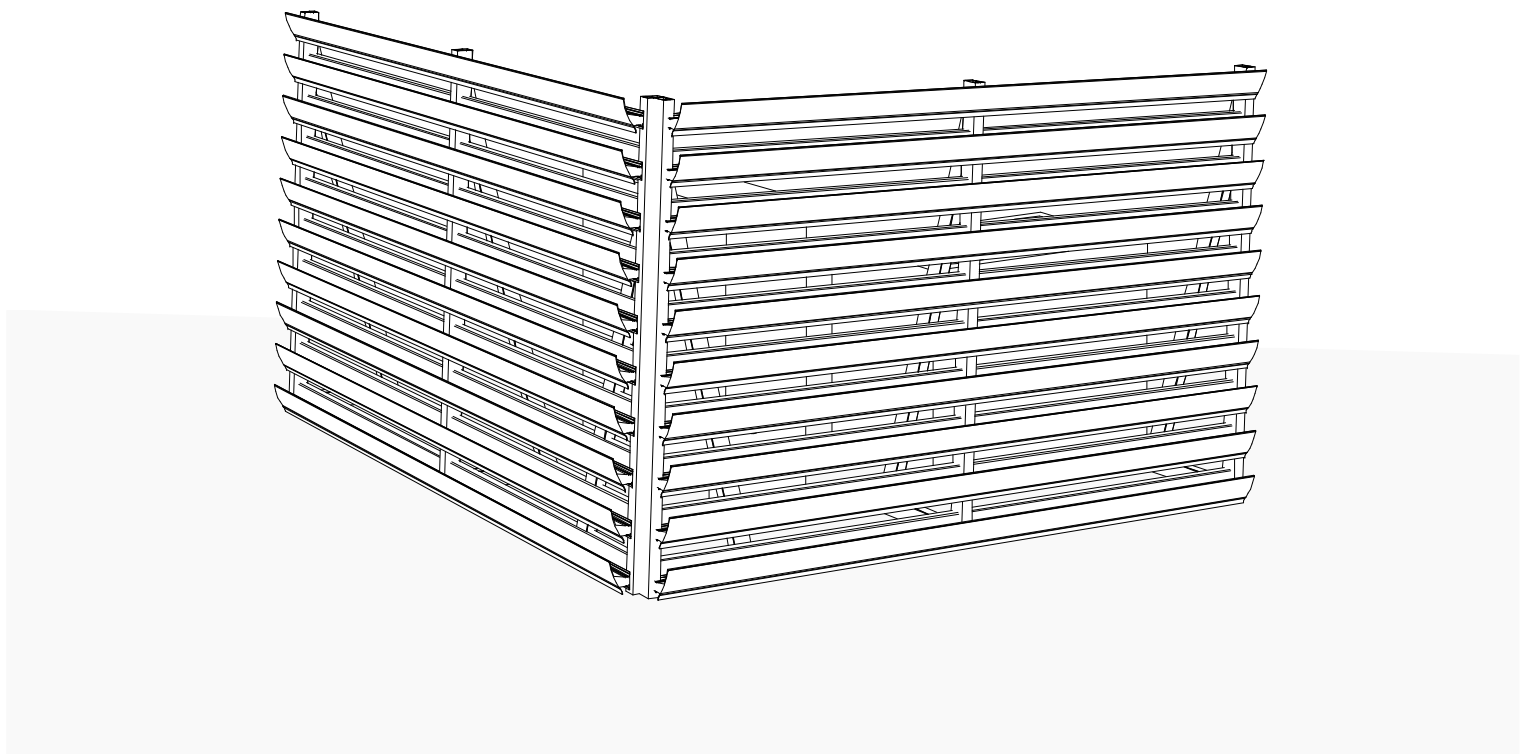
NOT For Construction



1 Typical Louver Screen  
1 : 20



2 Typical Louver Screen Section  
1 : 20



3 3D View Mech Screen

A DA Amended Plans 11.07.2022

Rev	Description	Date
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Toth & Partners Pty Ltd

6/80 Kurraba Road Neutral Bay NSW 2089  
BDAA Reg No. 6657

Turner Road

Project  
36 Turner Road, Smeaton Grange,  
NSW 2567

Title  
Typical Mechanical Plant Screening

Scale A1 @ As indicated Date September 2022

JOB No. DWG No.

BVR422 DA.930 A

General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Design Consultants Detailed Drawings, Reports And Specifications.

Site Survey Carried Out By D&C Surveying PTY LTD - Refer To Drawing - 242-20SP. All Levels Indicated Taken To Australian Height Datum (AHD)

Levels Prefixed With 'RL' Are Interpreted From Existing Survey Information. Final Levels To Be Determined On Detail Review Of Existing Footpath Levels

All Dimensions to Be Verified On Site (VOS) Prior To Construction / Manufacture.



## NOTES FOR WORKS IN COUNCIL AREA

- NOTES FOR WORKS IN PRIVATE AREA

- EARTHWORKS NOTES:

- PAVEMENT NOTES:

- CONCRETE NOTES:

- ### 1. STORMWATER DESIGN CRITERIA:

- ENVIRONMENTAL CONTROL NOTES:

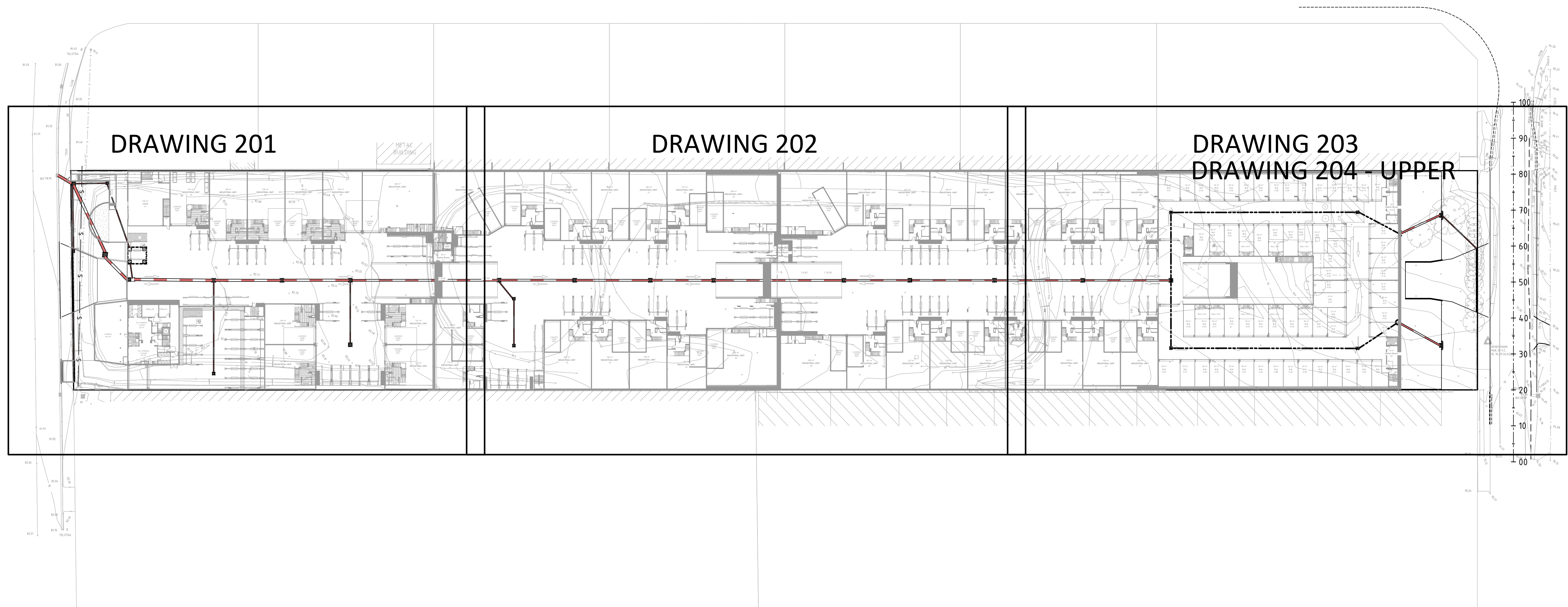
## EROSION AND SEDIMENTATION CONTROL

- ## TRAFFIC CONTROL

- ## ENVIRONMENTAL CONTROLS

- [illegible]



[illegible]





- LEGEND**
- BOUNDARY
  - ROAD CONTROL LINE
  - KERB & GUTTER (K&G)
  - V.C. VEHICULAR CROSSING (V.C.)
  - TOP OF BATTER
  - BOTTOM OF BATTER
  - RETAINING WALL
  - FINISHED SURFACE CONTOUR
  - EXISTING SURFACE CONTOUR
  - STORMWATER DRAINAGE LINE
  - EXISTING DRAINAGE LINE
  - SUBSOIL DRAINAGE LINE WITH FLUSHING POINT
  - STORMWATER GRATED SURFACE INLET PIT. SURFACE INLET PITS TO HAVE 'OCEANGUARD' 200um FILTER SYSTEM.
  - STORMWATER JUNCTION PIT
  - UPSTREAM INVERT LEVEL  
PIPE DIAMETER, TYPE & CLASS  
PIPE LENGTH & GRADE  
DOWNSTREAM INVERT LEVEL
  - STORMWATER PIT NUMBER  
STORMWATER LINE LETTER
  - FINISHED SURFACE LEVEL
  - FINISHED STORMWATER PIT LID/GRATE LEVEL

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01	T.T.	27/04/22	E.S.	ISSUE FOR DA APPLICATION

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NORWEST NSW 2153

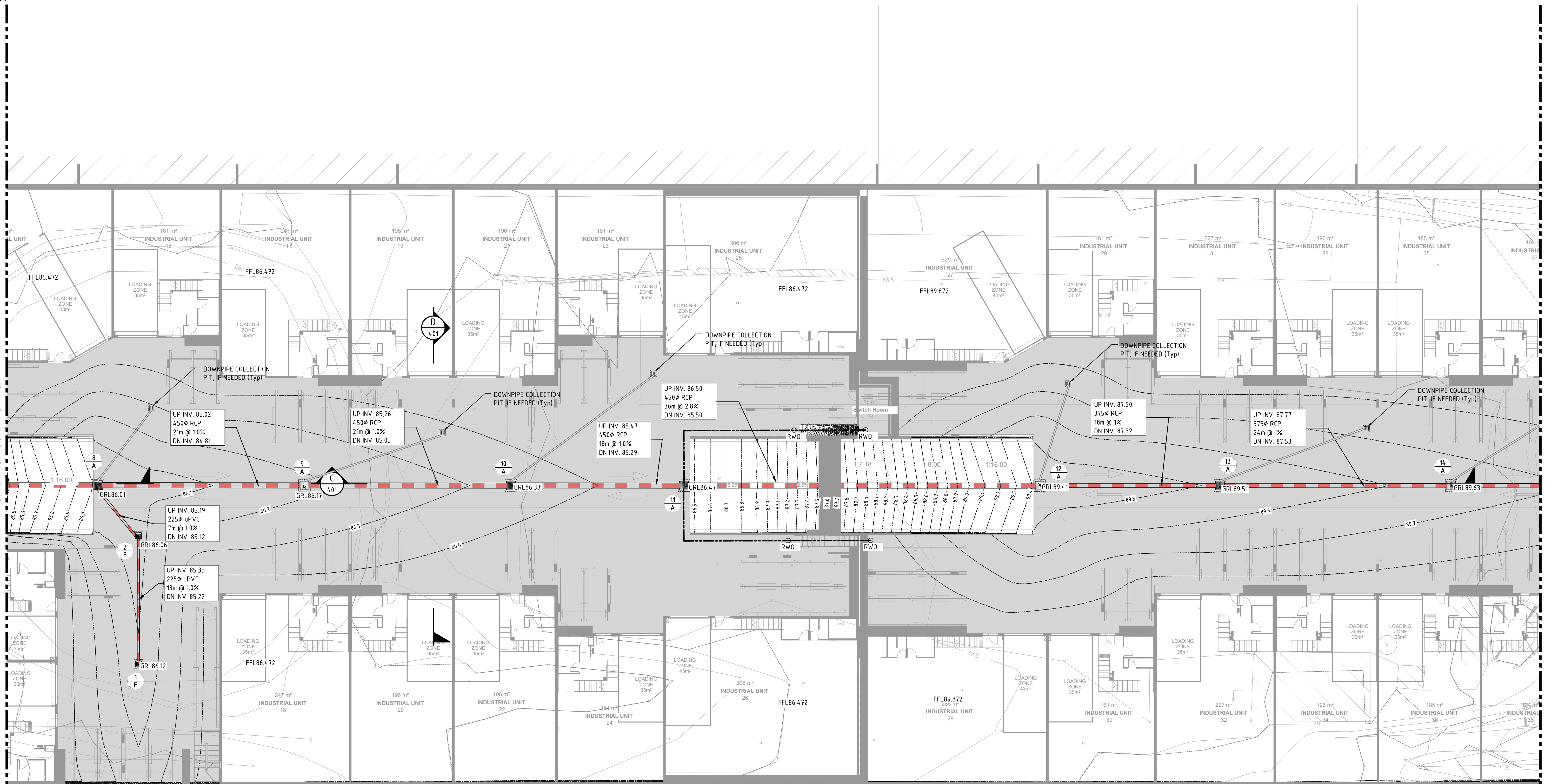
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FAX: (02) 9634 6989  
ABN 21 118 134 240

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DESIGNER	E.S.	LGA	CAMDEN COUNCIL
ENGINEER	E.S.	SCALE @ A1	1:200

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36 TURNER ROAD, SMEATON GRANGE			
GENERAL ARRANGEMENT PLAN GROUND LEVEL - SHEET 1 OF 3			
STATUS	DEVELOPMENT APPLICATION	DRAWING No.	02563_201
REVISION	02		



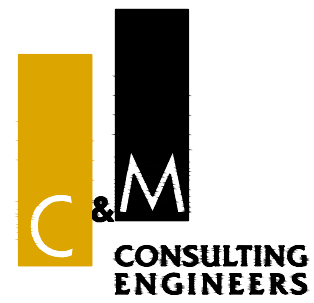


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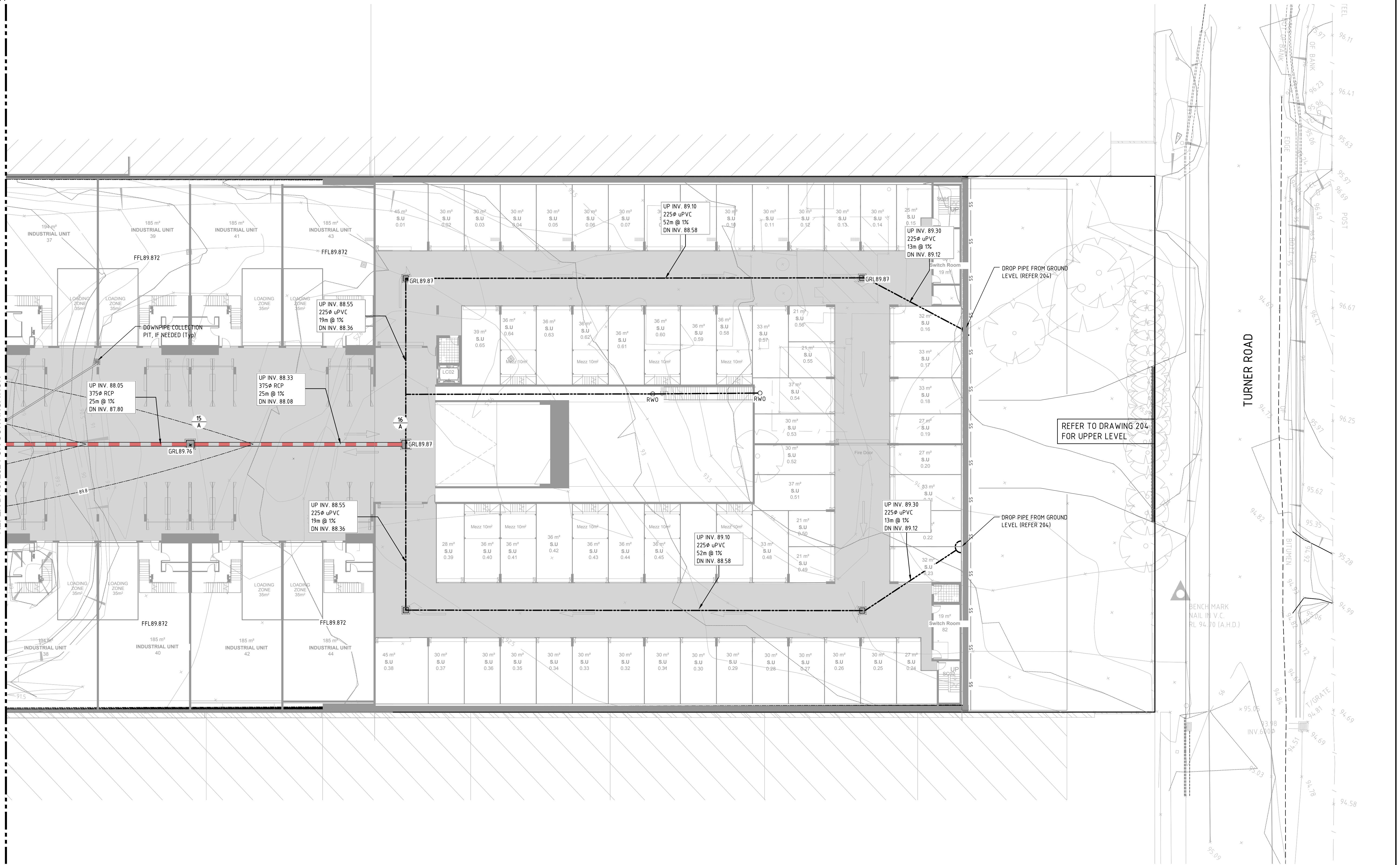
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36 TURNER ROAD, SMEATON GRANGE

GENERAL ARRANGEMENT PLAN  
GROUND LEVEL - SHEET 2 OF 3

STATUS DEVELOPMENT APPLICATION DRAWING No. 02563\_202 REVISION 02

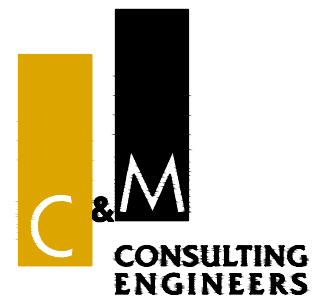




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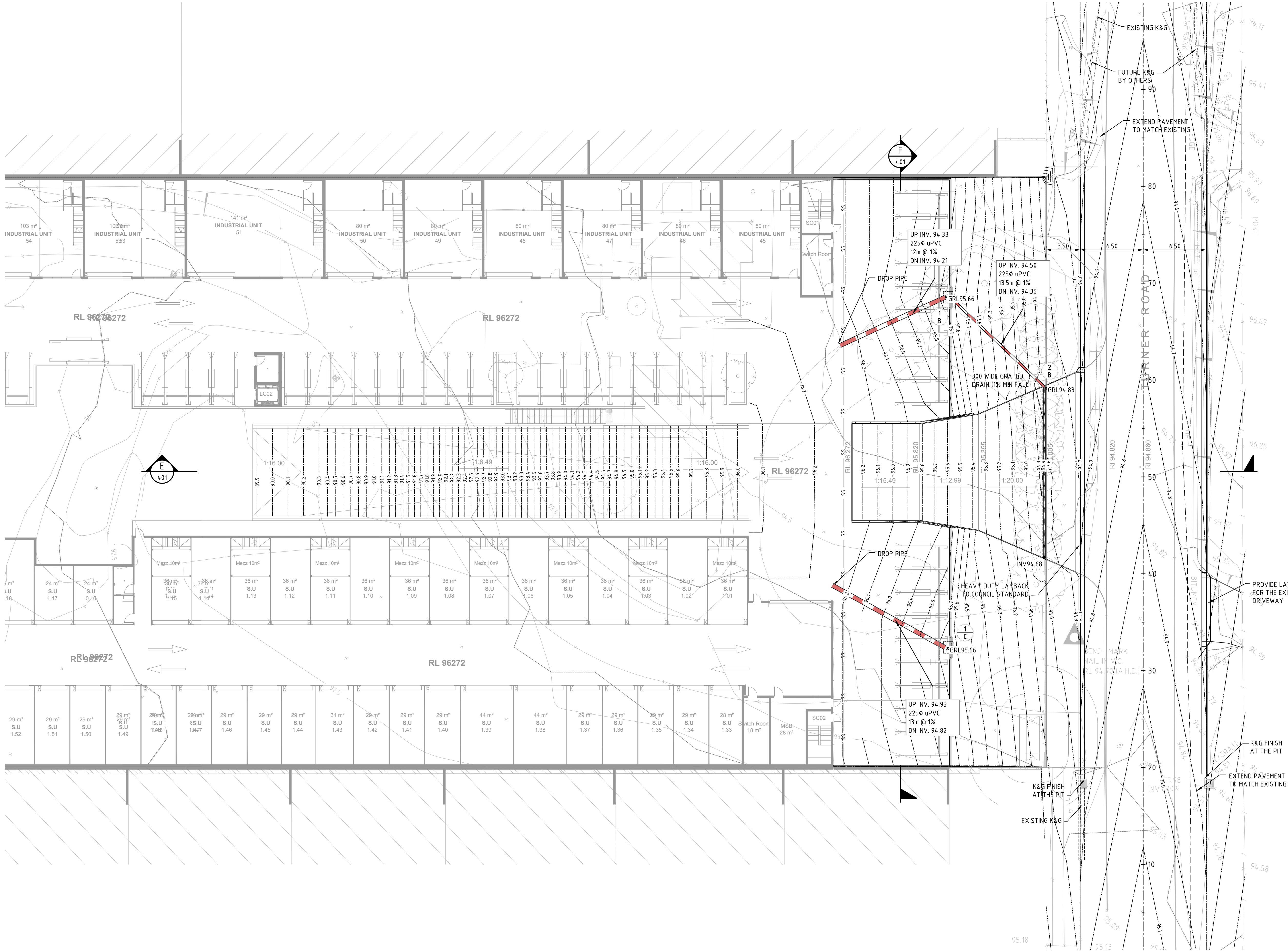


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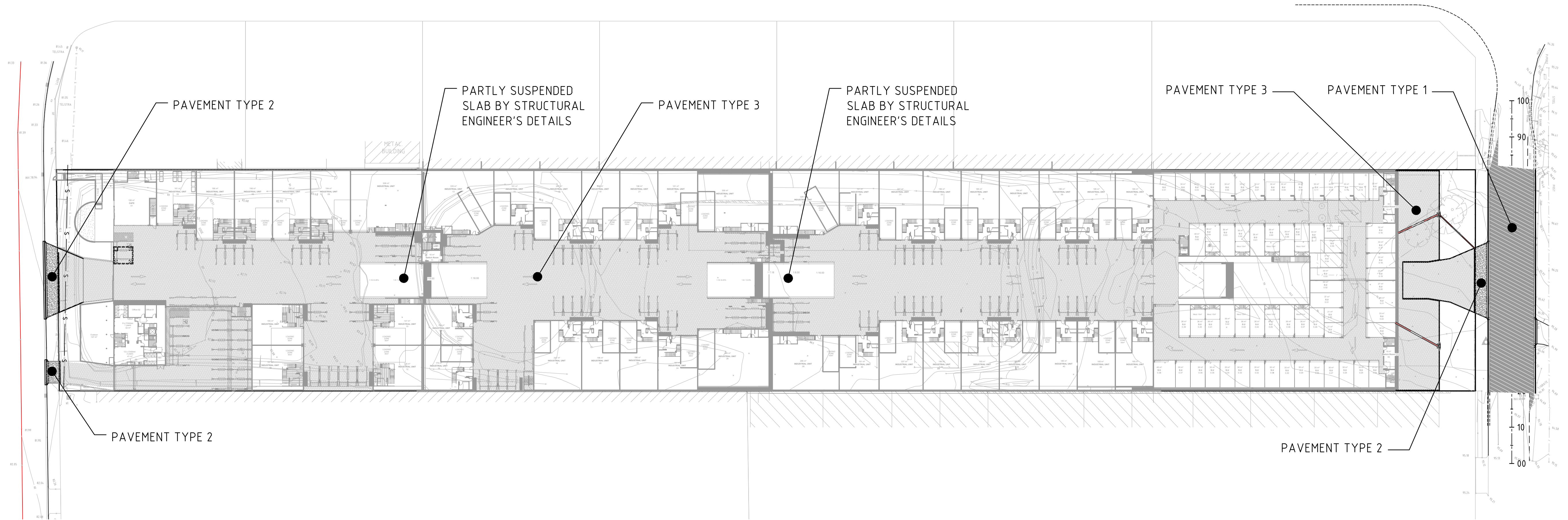
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ENGINEER	E.S.	SCALE @ A1	1:200
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36 TURNER ROAD, SMEATON GRANGE	
GENERAL ARRANGEMENT PLAN GROUND LEVEL - SHEET 3 OF 3	
STATUS	DEVELOPMENT APPLICATION
DRAWING No.	02563_203
REVISION	02









LEGEND



**PAVEMENT TYPE 1**  
TURNER ROAD  
TRAFFIC LOADING - E.S.A. 5x10<sup>6</sup>



**PAVEMENT TYPE 2**  
FOOTPATH CROSSING



**PAVEMENT TYPE 3**  
INTERNAL RIGID PAVEMENT

2x25mm AC10 ON  
7mm PRIMER SEAL ON  
150mm BASE COURSE ON  
400mm SUBBASE COURSE ON  
3% SUBGRADE CBR ASSUMED  
(TO BE CONFIRMED BY TESTING)

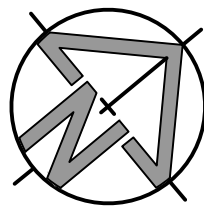
200mm N32 CONCRETE WITH SL82  
MESH TOP & BOTTOM 50 COVER  
50mm SAND BEDDING  
COMPACTED SUBGRADE

180mm N32 CONCRETE WITH SL82  
MESH TOP & BOTTOM  
100mm SUBBASE (DGS20)  
COMPACTED SUBGRADE

NOTE: PAVEMENT DESIGN SUBJECT TO FINAL  
SUBGRADE CBR TESTS OBTAINED BY GEOTECHNICAL  
INVESTIGATION UPON COMPLETION OF EARTHWORKS.

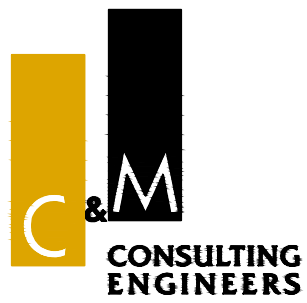
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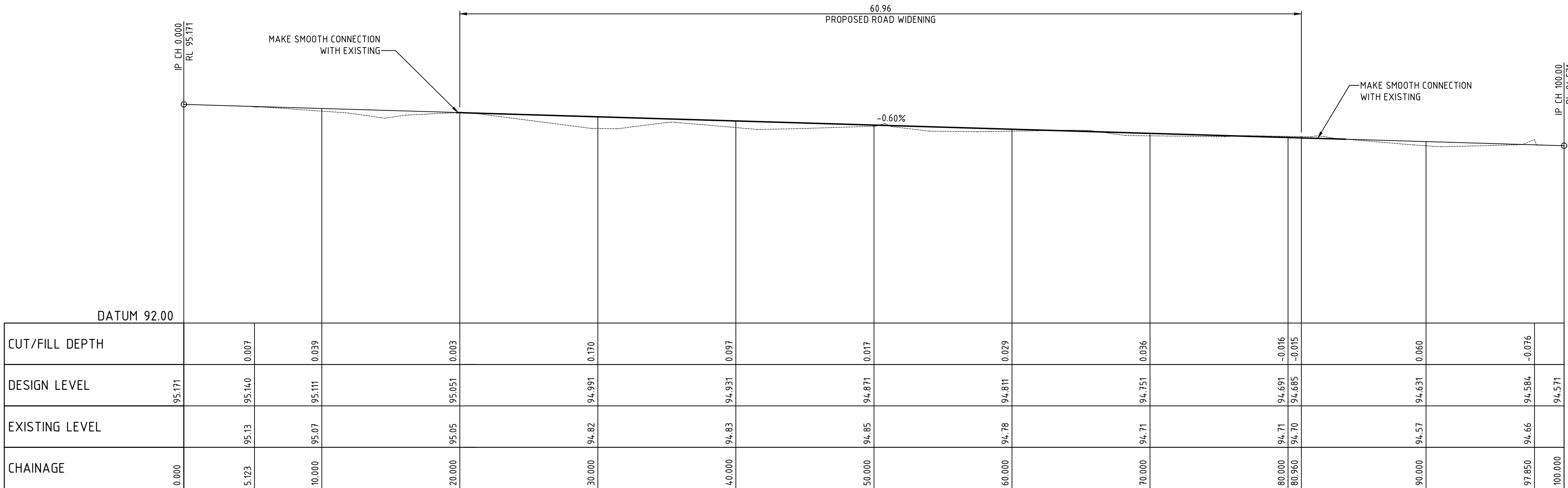


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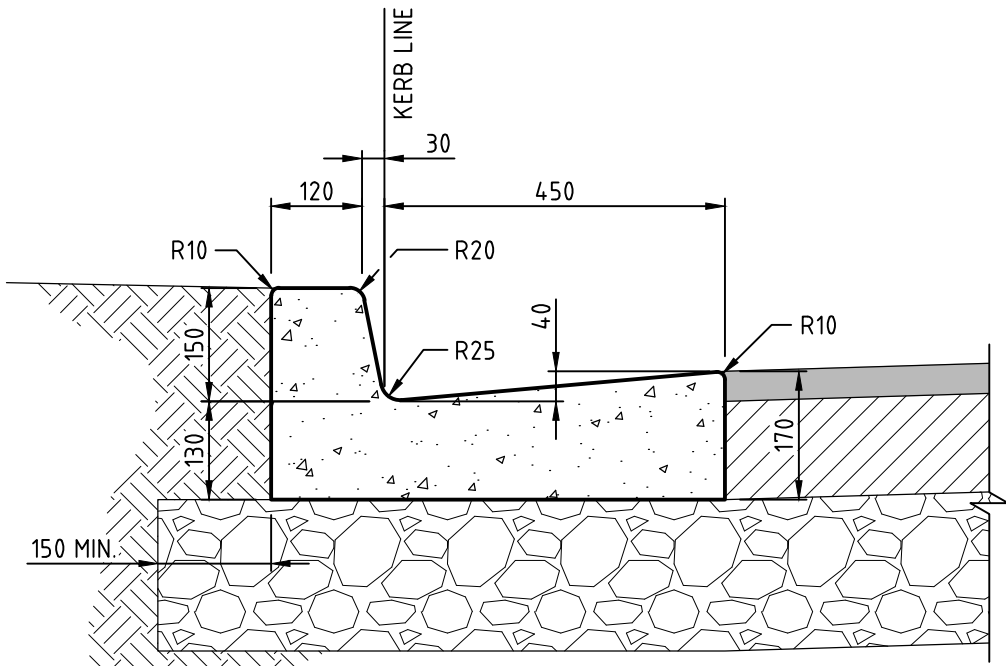
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DESIGNER	E.S.	LGA	CAMDEN COUNCIL
ENGINEER	E.S.	SCALE @ A1	1:600
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36 TURNER ROAD, SMEATON GRANGE		
PAVEMENT PLAN & DETAILS		
STATUS	DEVELOPMENT APPLICATION	REVISION 02
DRAWING No.	02563_221	

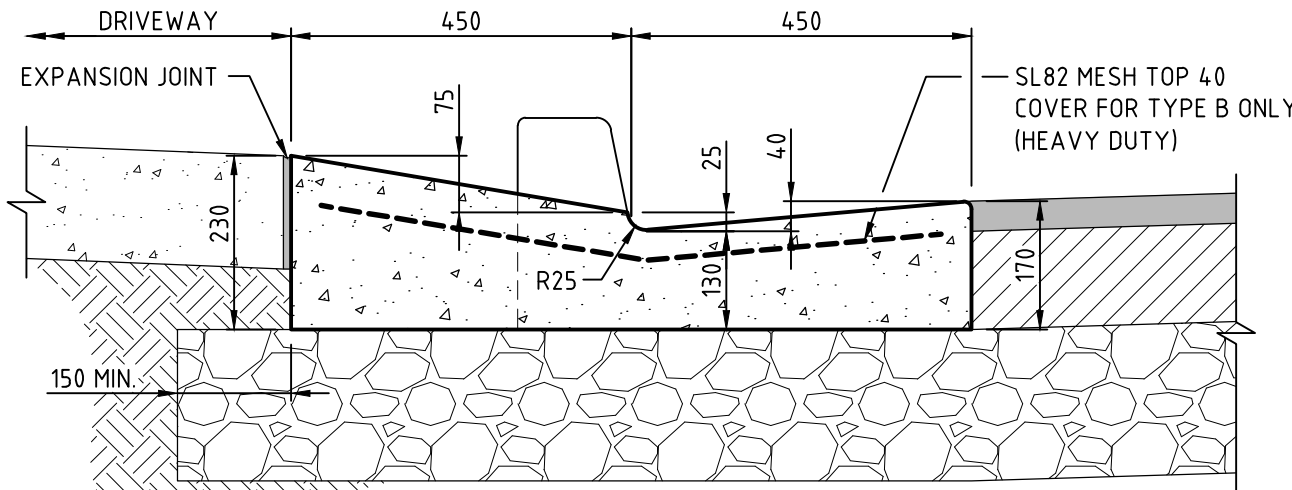




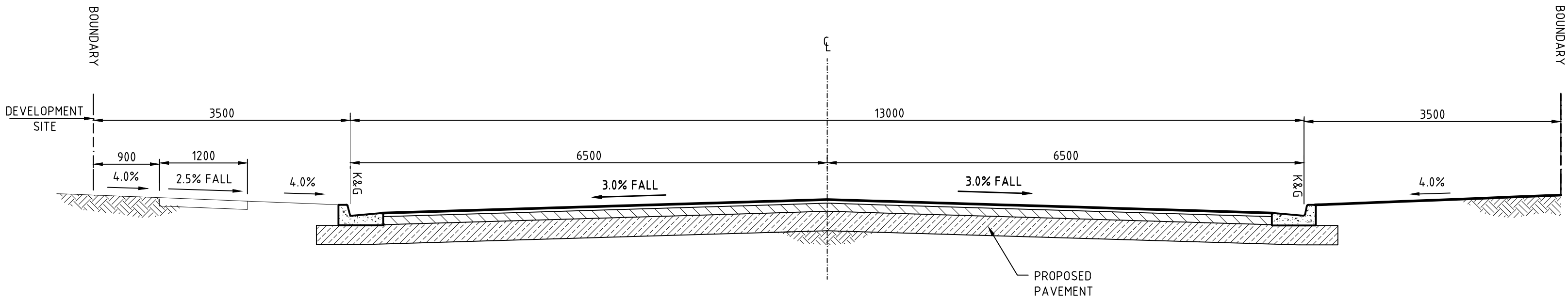
TURNER ROAD LONGITUDINAL SECTION  
SCALE H 1:200 V 1:40



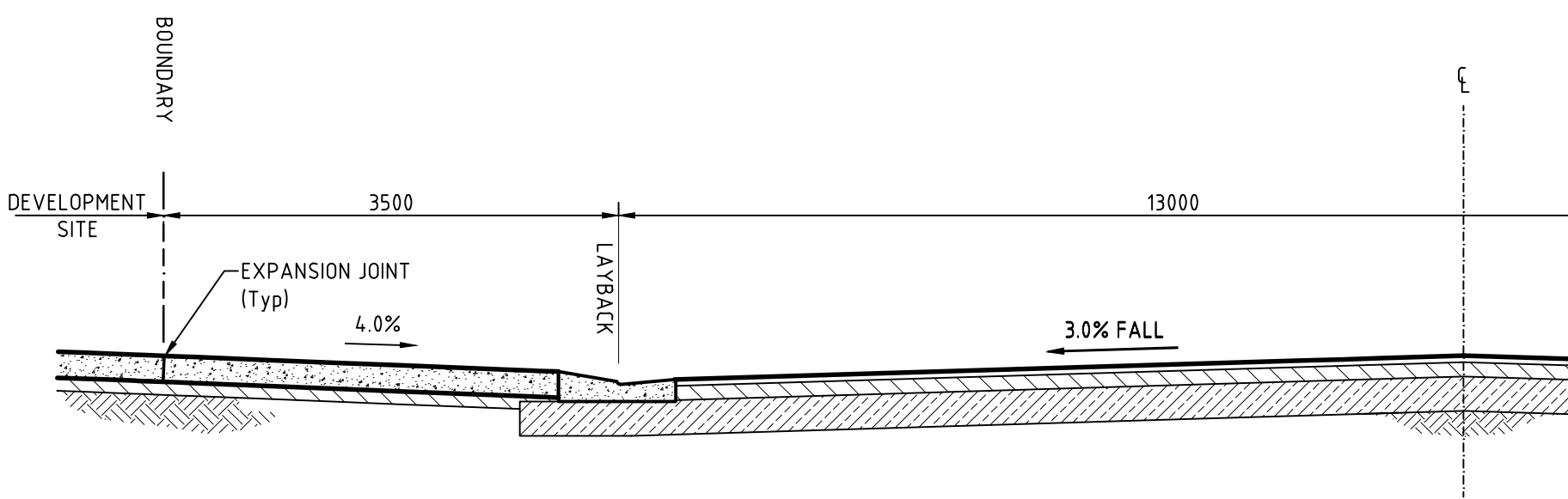
KERB & GUTTER (K&G)  
SCALE 1:10



DRIVEWAY LAYBACK (V.C.)



SECTION R1 TYPICAL INDUSTRIAL ROAD - TURNER ROAD  
SCALE 1:50

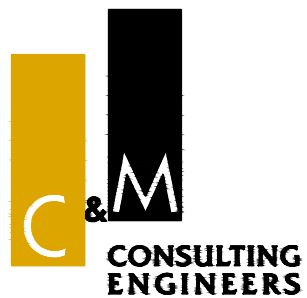


SECTION R2 TURNER ROAD DRIVEWAY  
SCALE 1:50

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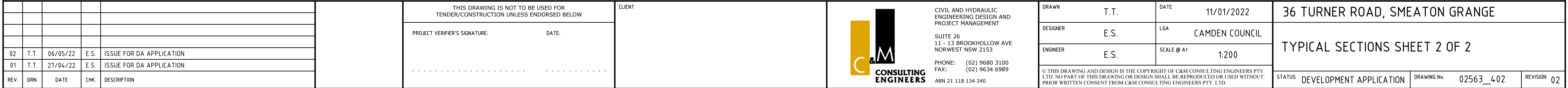
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ENGINEER	E.S.	SCALE @ A1	AS SHOWN
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36 TURNER ROAD, SMEATON GRANGE			
TURNER ROAD - TYPICAL SECTION & LONG SECTION			
STATUS	DEVELOPMENT APPLICATION	DRAWING No.	02563_301
REVISION	02		

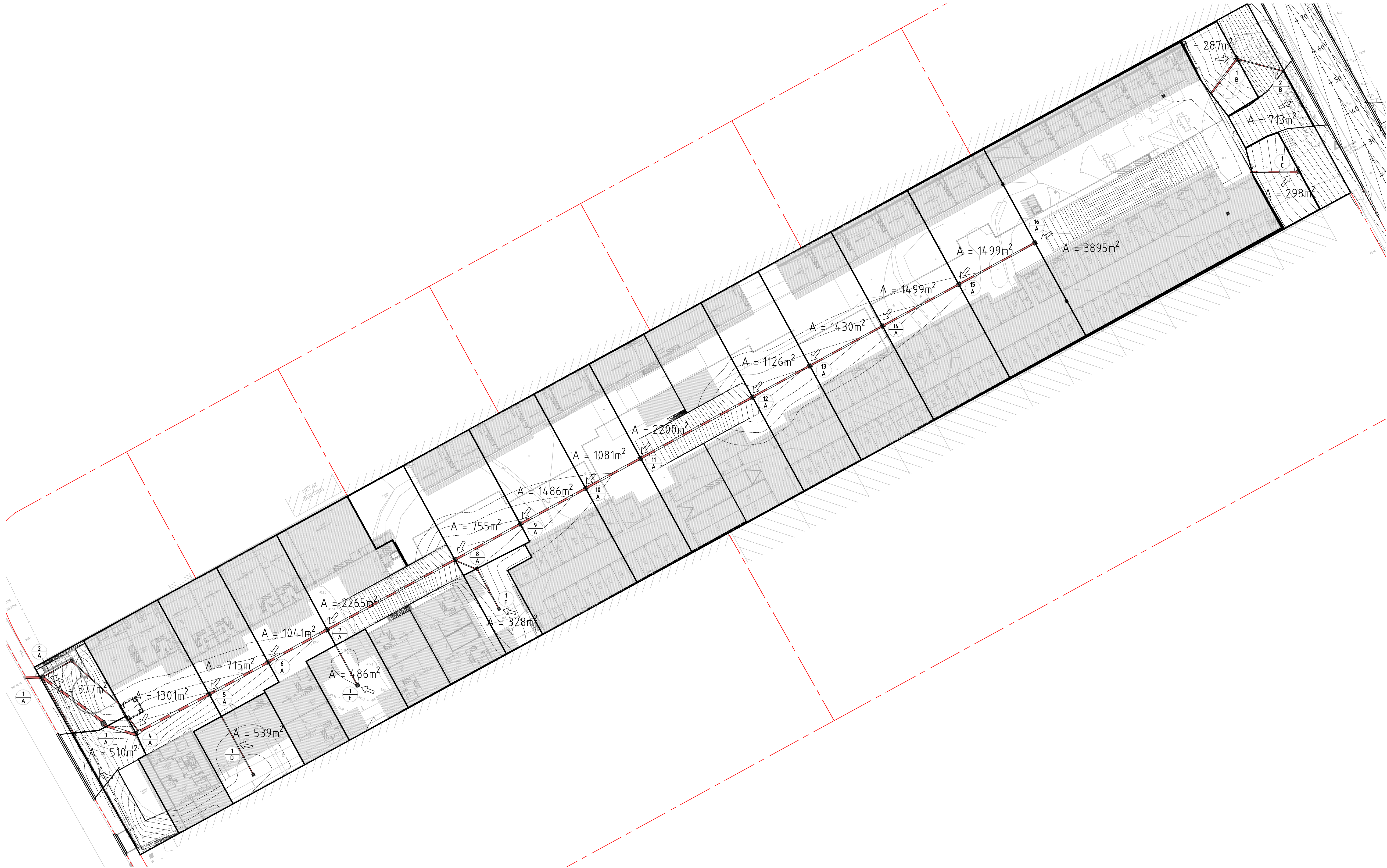
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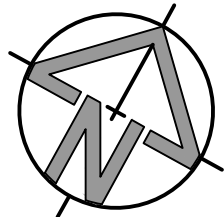




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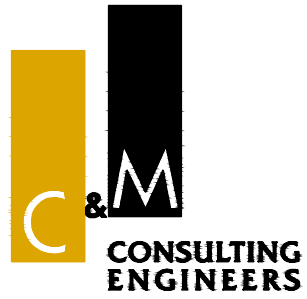


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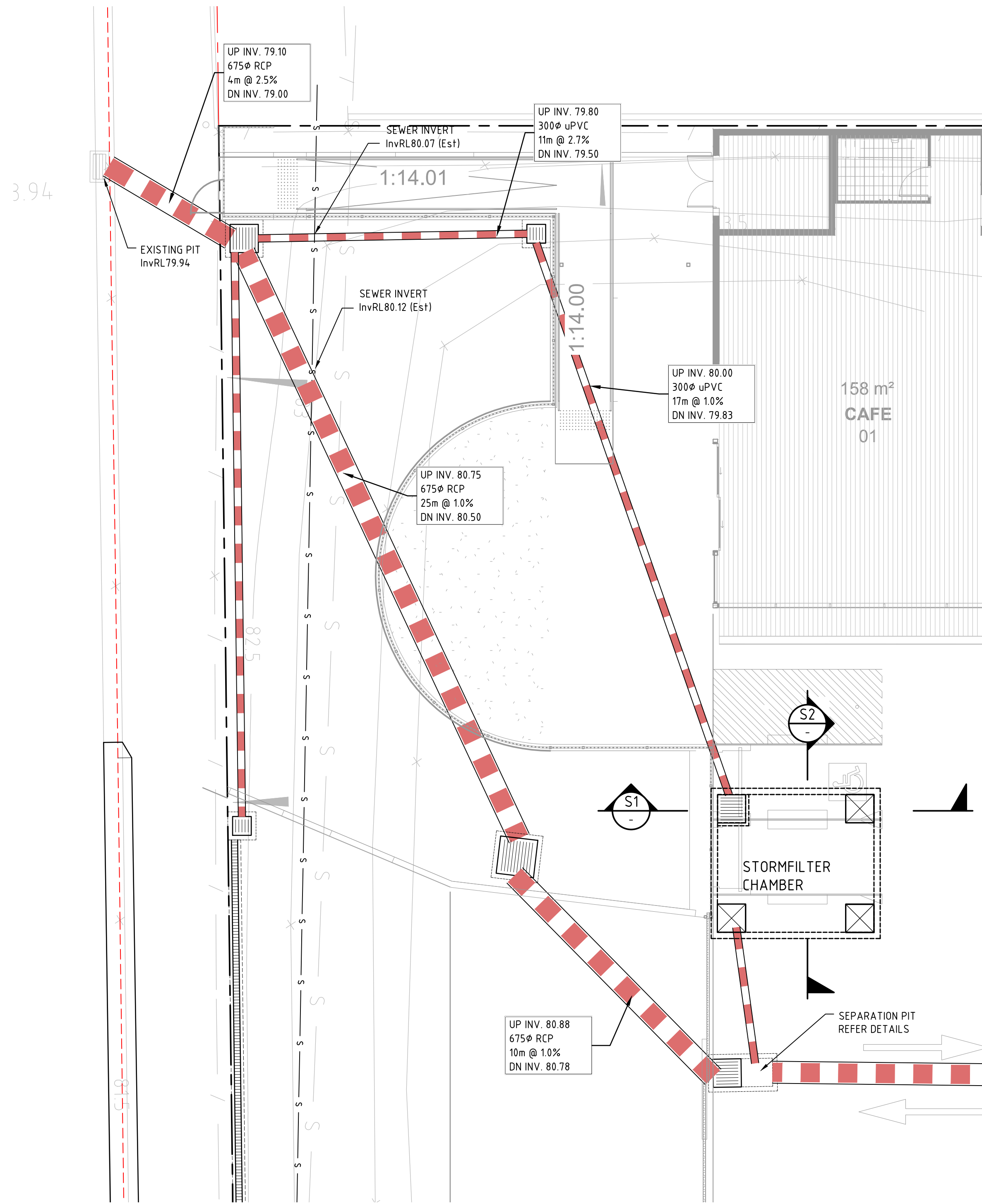
36 TURNER ROAD, SMEATON GRANGE		
CATCHMENT PLAN		
STATUS	DEVELOPMENT APPLICATION	REVISION
DRAWING No.	02563_601	02



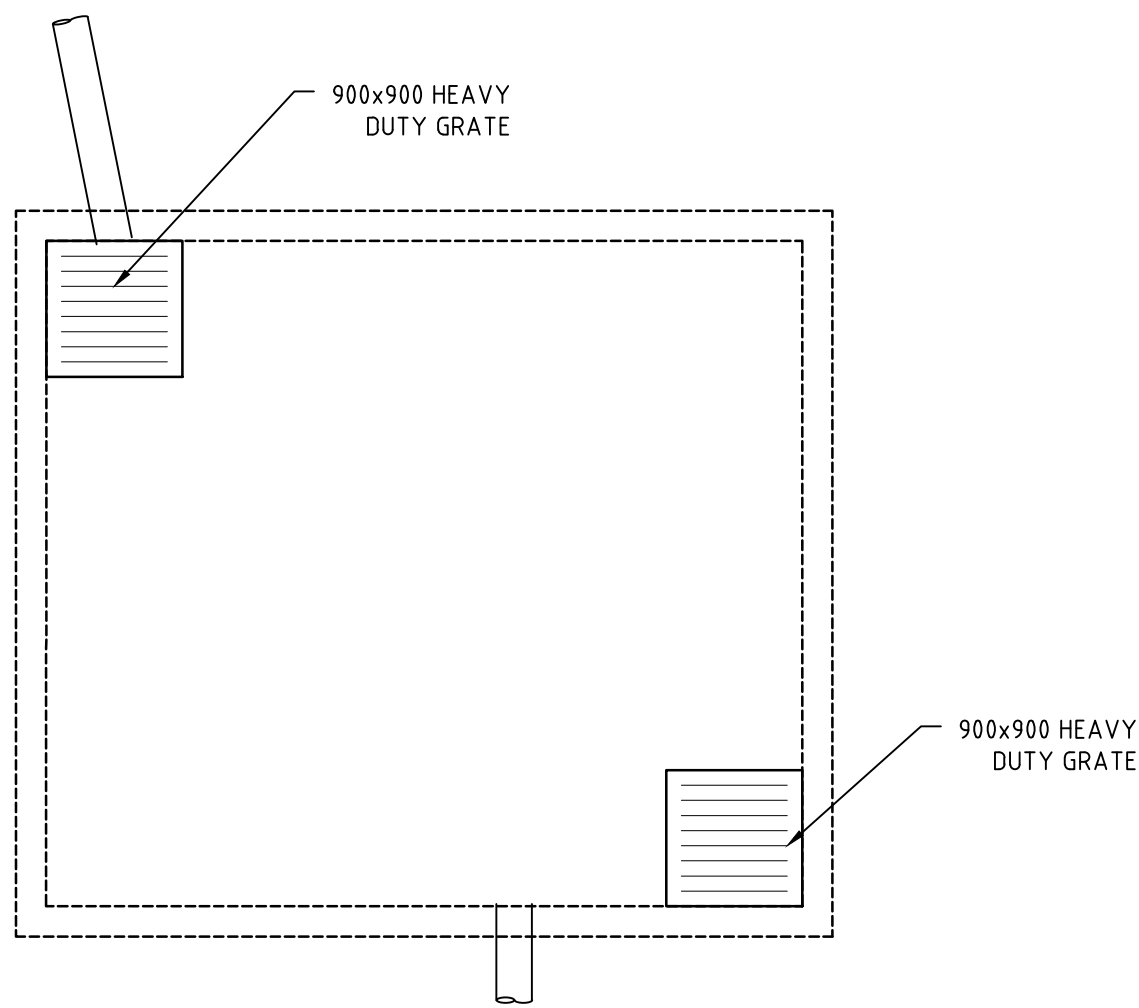
PIT No	Tc (min)	ARI	INTENSITY (mm/h)	FRACTION OF IMP	RUNOFF COEFF, C	CATCHMENT AREA (Ha)	FLOWRATE, Q (L/S)	PIT CAPACITY (L/S)	UPSTREAM FLOWRATE (L/S)	ACCUMULATED FLOWRATE (L/S)
2/B	5	20	172	0.4	0.62	0.0713	21.1	50	0	21
1/B	5	20	172	1	0.95	0.0287	13.0	50	21	34
16/A	5	20	172	1	0.95	0.3895	176.8	50	34	224
15/A	5	20	172	1	0.95	0.1499	68.0	50	224	293
14/A	5	20	172	1	0.95	0.1499	68.0	50	293	361
13/A	5	20	172	1	0.95	0.143	64.9	50	361	425
12/A	5	20	172	1	0.95	0.1126	51.1	50	425	477
11/A	5	20	172	1	0.95	0.22	99.9	50	477	576
10/A	5	20	172	1	0.95	0.1081	49.1	50	576	625
9/A	5	20	172	1	0.95	0.1486	67.4	50	625	693
8/A	5	20	172	1	0.95	0.0755	34.3	50	693	727
7/A	5	20	172	1	0.95	0.2265	102.8	50	727	830
6/A	5	20	172	1	0.95	0.1041	47.2	50	830	877
5/A	5	20	172	1	0.95	0.0715	32.5	50	877	910
4/A	5	20	172	1	0.95	0.1301	59.1	50	910	969
3/A	5	20	172	1	0.95		0.0	50	969	969
2/A	5	20	172	0.9	0.89	0.0377	16.0	50	969	985
1/C	5	20	172	1	0.95	0.0298	13.5	50	0	14
1/D	5	20	172	1	0.95	0.0539	24.5	50	0	24
1/E	5	20	172	1	0.95	0.0486	22.1	50	0	22
1/F	5	20	172	1	0.95	0.0328	14.9	50	0	15
2/F	5	20	172	1	0.95		0.0	50	15	15

PIPE		FLOWRATE Q (L/S)	PIPE DETAILS				PIT LOSS, Ku	UPSTREAM PIT DETAILS			D/S Inv RL	D/S HGL (m)	PIPE				U/S HGL (m)	PIT LOSS (m)	WSE (m)	FREEBOARD D (m)
U/S PIT	D/S PIT		L (m)	D (mm)	S (%)	k (mm)		Inv RL	Ground RL	Pit Depth			Type	A (M <sup>2</sup> )	Vel (m/s)	F.Loss (m)				
2/B	1/B	21	13.5	225	1.0	0.06	1	94.5	94.83	0.33	94.36	89.10	uPVC	0.040	0.53	0.015	89.116	0.014	89.130	5.700
1/B	16/A	34	12	225	1.0	0.06	1	94.33	95.66	1.33	94.21	89.03	uPVC	0.040	0.86	0.033	89.063	0.037	89.101	6.559
16/A	15/A	224	25	375	1.0	0.3	1.5	88.33	89.87	1.54	88.08	88.53	uPVC	0.110	2.03	0.186	88.718	0.313	89.031	0.839
15/A	14/A	293	25	375	1.0	0.3	0.3	88.05	89.77	1.72	87.8	88.12	uPVC	0.110	2.65	0.303	88.426	0.106	88.532	1.238
14/A	13/A	361	24	375	1.0	0.3	0.3	87.77	89.63	1.86	87.53	87.31	RCP	0.110	3.27	0.648	87.961	0.161	88.123	1.507
13/A	12/A	425	18	375	1.0	0.3	0.3	87.5	89.51	2.01	87.32	86.43	RCP	0.110	3.85	0.661	87.088	0.225	87.313	2.197
12/A	11/A	477	36	450	2.8	0.3	0.3	86.5	89.41	2.91	85.5	85.62	RCP	0.159	3.00	0.671	86.292	0.136	86.428	2.982
11/A	10/A	576	18	450	1.0	0.3	0.3	85.47	86.47	1	85.29	84.94	RCP	0.159	3.63	0.477	85.422	0.199	85.621	0.849
10/A	9/A	625	21	450	1.0	0.3	0.3	85.26	86.33	1.07	85.05	84.06	RCP	0.159	3.93	0.647	84.710	0.234	84.945	1.385
9/A	8/A	693	21	525	1.0	0.3	0.3	85.02	86.17	1.15	84.81	83.54	RCP	0.216	3.20	0.369	83.908	0.155	84.063	2.107
8/A	7/A	727	41	525	1.0	0.3	0.3	82.03	86.01	3.98	81.62	82.58	RCP	0.216	3.36	0.789	83.367	0.171	83.538	2.472
7/A	6/A	830	19	675	1.0	0.3	0.3	81.59	82.82	1.23	81.4	82.36	RCP	0.358	2.32	0.137	82.497	0.082	82.579	0.241
6/A	5/A	877	19	675	1.0	0.3	0.3	81.37	82.66	1.29	81.18	82.12	RCP	0.358	2.45	0.152	82.269	0.091	82.360	0.300
5/A	4/A	910	24	675	1.0	0.3	0.3	81.15	82.49	1.34	80.91	81.81	RCP	0.358	2.54	0.206	82.019	0.098	82.117	0.373
4/A	3/A	969	10	675	1.0	0.3	0.3	80.88	82.28	1.40	80.78	81.61	RCP	0.358	2.71	0.096	81.702	0.111	81.813	0.467
3/A	2/A	969	25	675	1.0	0.3	0.3	80.75	82.33	1.58	80.5	81.25	RCP	0.358	2.71	0.241	81.495	0.111	81.606	0.724
2/A	1/A	985	4	675	2.5	0.3	0.3	79.1	81.64	2.54	79	81.10	RCP	0.358	2.75	0.040	81.140	0.115	81.254	0.386
1/C	16/A	14	13	225	1.0	0.06	1	94.95	95.66	0.71	94.82	89.03	uPVC	0.040	0.34	0.006	89.037	0.006	89.043	6.617
1/D	5/A	24	22	225	1.0	0.06	1	81.92	82.6	0.68	81.7	82.12	uPVC	0.040	0.62	0.032	82.149	0.019	82.168	0.432
1/E	7/A	22	18	225	1.0	0.06	1	81.82	82.8	0.98	81.64	82.58	uPVC	0.040	0.56	0.022	82.601	0.016	82.616	0.184

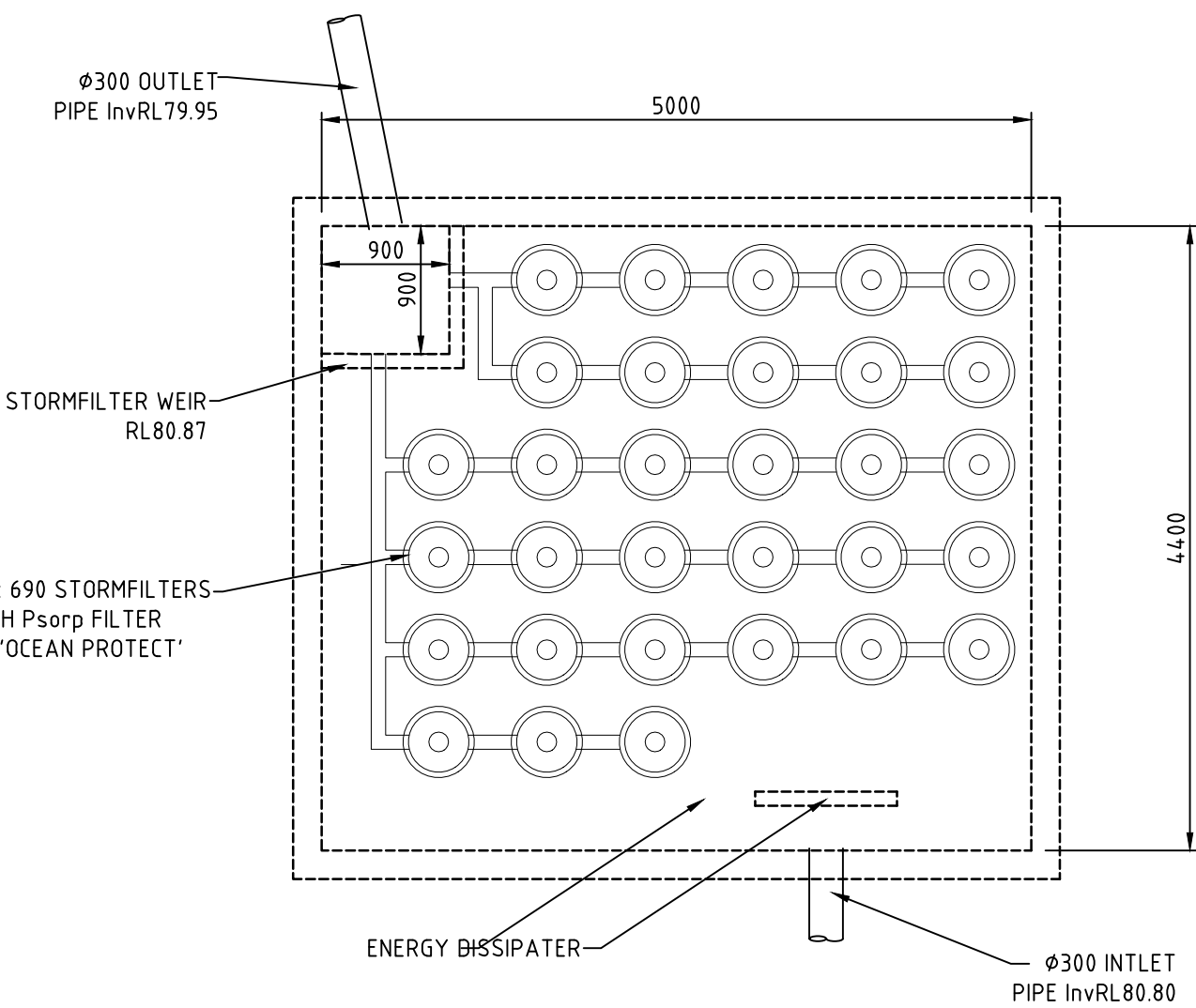
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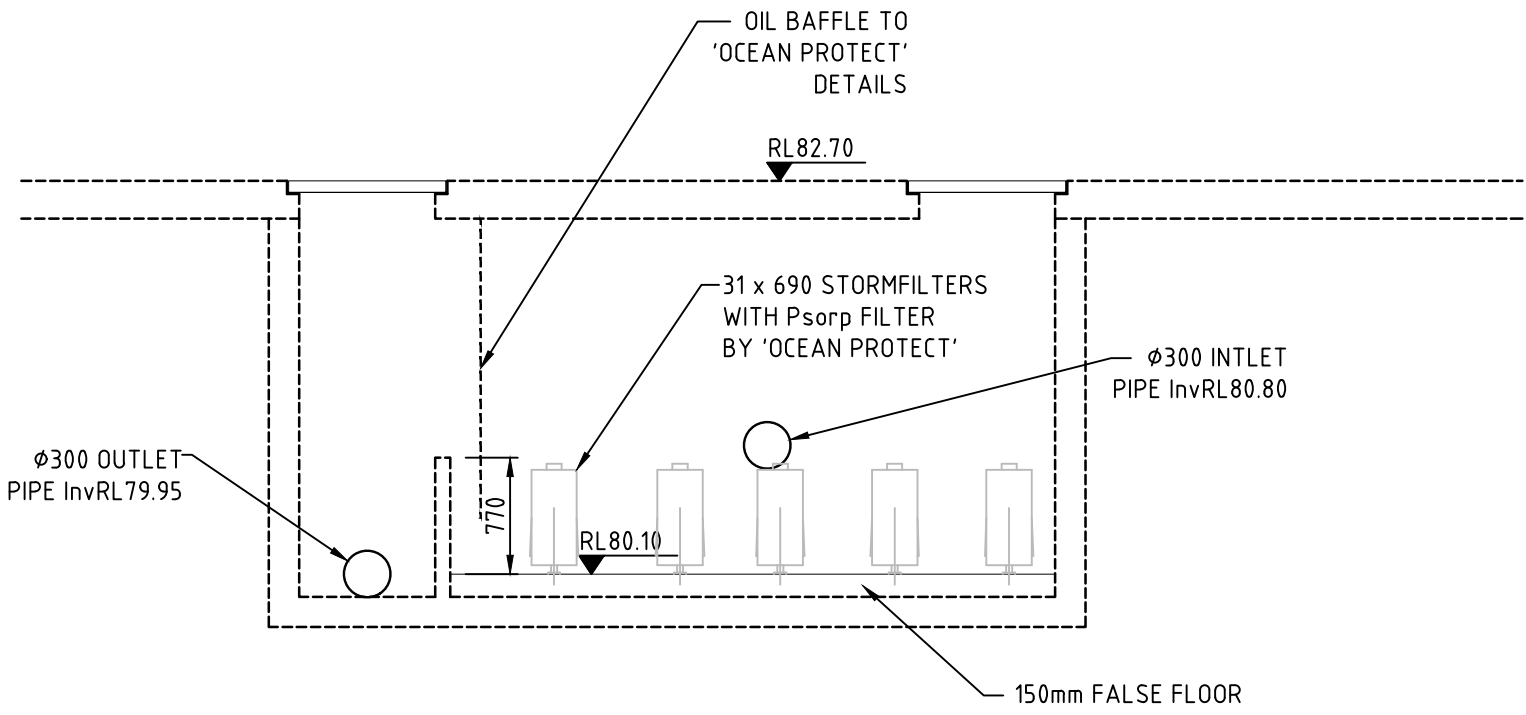
PLAN  
SCALE 1:100



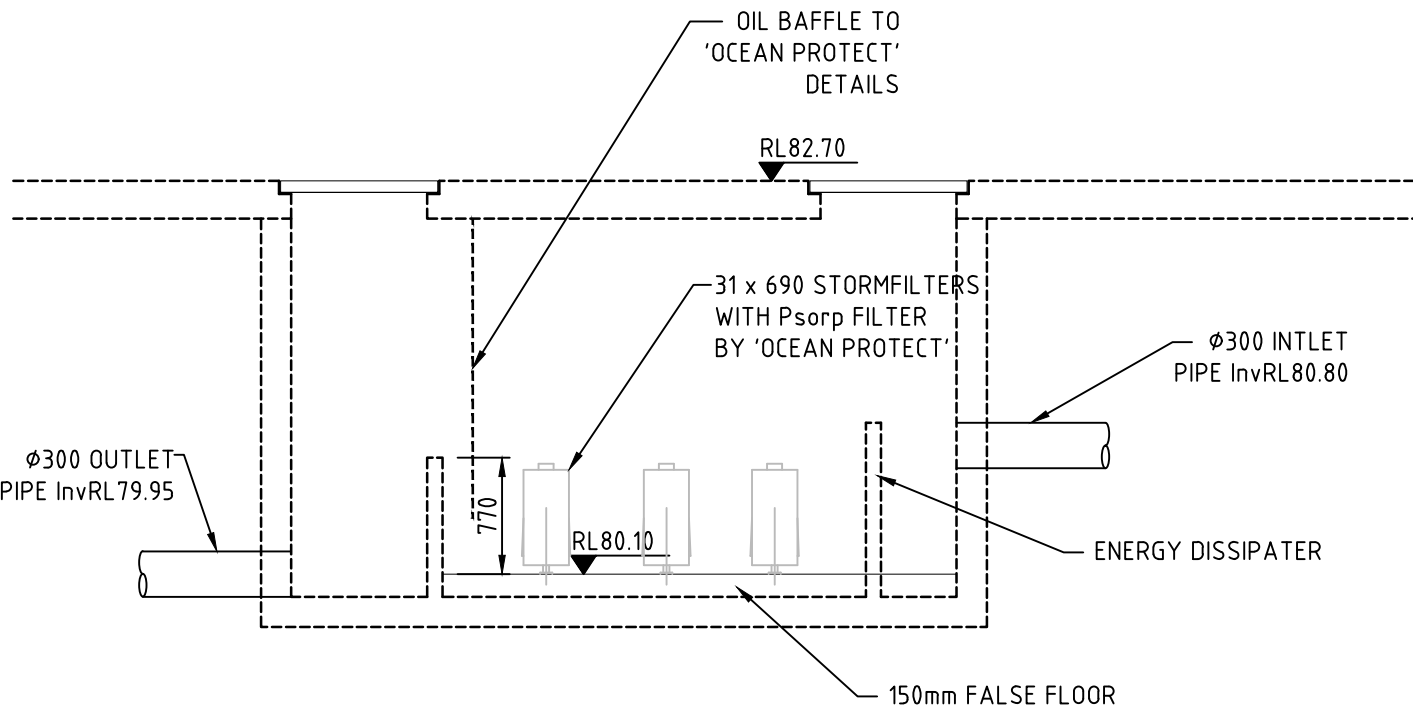
STORMFILTER CHAMBER - PLAN (SURFACE)  
SCALE 1:50



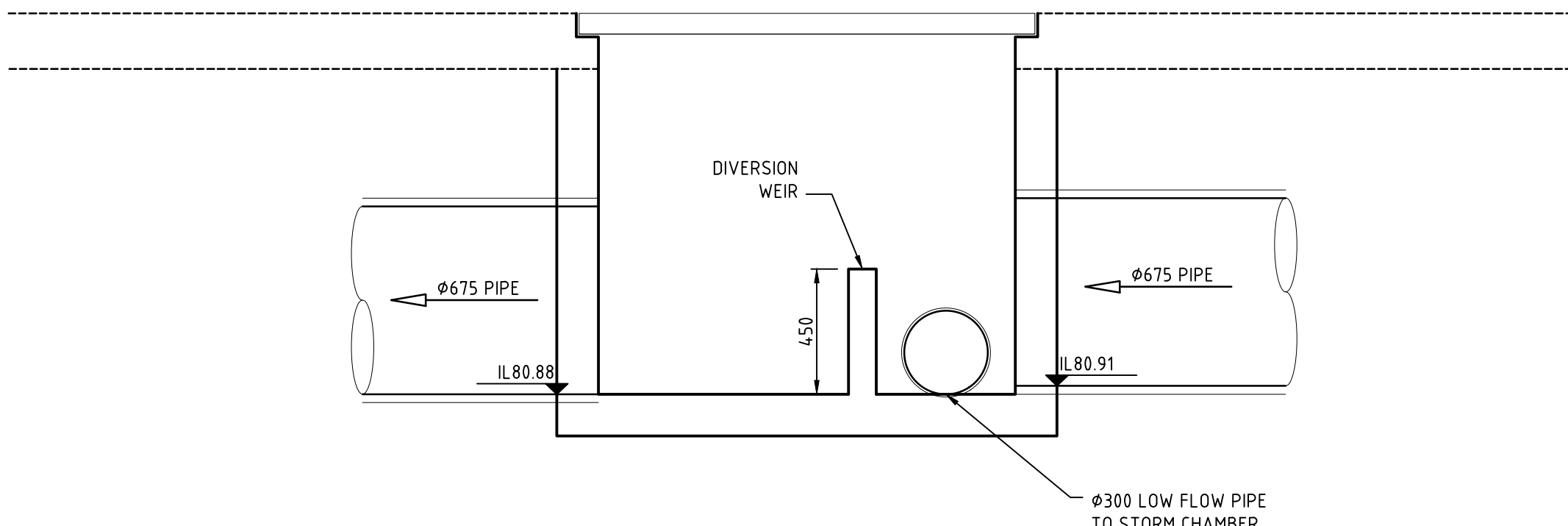
STORMFILTER CHAMBER - PLAN (INSIDE)  
SCALE 1:50



SECTION S1  
SCALE 1:50



SECTION S2  
SCALE 1:50



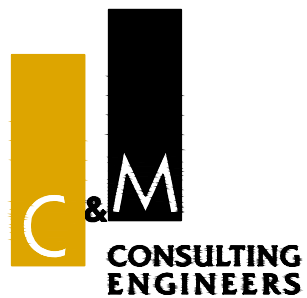
SEPARATION PIT DETAILS  
SCALE 1:20

REV.	DRN.	DATE	CHK.	DESCRIPTION
02	T.T.	06/05/22	E.S.	ISSUE FOR DA APPLICATION
01	T.T.	27/04/22	E.S.	ISSUE FOR DA APPLICATION

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PROJECT VERIFIER'S SIGNATURE: DATE:

CLIENT



CIVIL AND HYDRAULIC  
ENGINEERING DESIGN AND  
PROJECT MANAGEMENT  
  
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11 - 13 BROOKHOLLOW AVE  
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ABN 21 118 134 240

DRAWN	T.T.	DATE	11/01/2022
DESIGNER	E.S.	LGA	CAMDEN COUNCIL
ENGINEER	E.S.	SCALE @ A1	AS SHOWN
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36 TURNER ROAD, SMEATON GRANGE

STORMWATER - WATER QUALITY SYSTEM

STATUS DEVELOPMENT APPLICATION DRAWING No. 02563\_621 REVISION 02



'RUSLE' CALCULATION

Constraint	Value	(Source)*
Rainfall Erosivity (R-factor)	2500	(Appendix B - Map 10)
Soil Erodibility (K-factor)	0.034	(Table C19 – Picton)
Length/Slope Gradient Factor, LS	0.72 (Based on 100m average slope length)	Table A1
Erosion Control Practice Factor (P-Factor)	1.3 (Compacted)	Table A2
Cover Factor (C-Factor)	1.0 (During Earthworks) 0.1 (Bitumen Emulsion– Post-Earthworks Operation)	Table A3
Calculated Soil Loss, A (RUSLE equation)	79 t/Ha/yr (During Earthworks) 7.9 t/Ha/yr (Post-Earthworks)	A = R K L S P C
Soil Loss Class	1 – Very Low	(Table 4.2)
Soil Hydrologic Group	C	(Table C19)
75 <sup>th</sup> Percentile 5-day Rainfall Event	20.2mm (Camden)	(Table 6.3a)
Volumetric Runoff Coefficient, Cv	0.25	(Table F2)

SEDIMENTATION BASIN CALCULATION FOR TYPE D SOIL

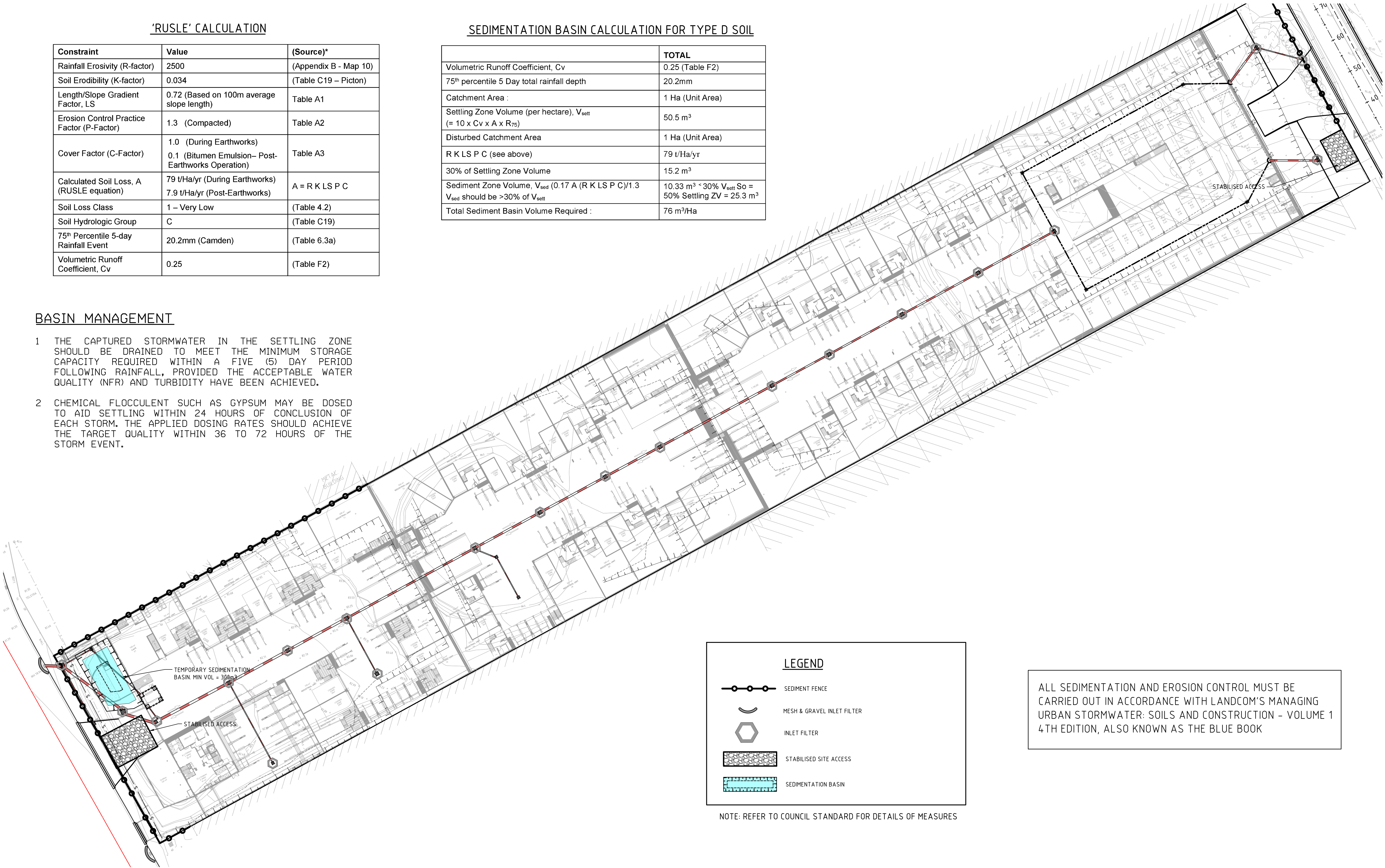
	TOTAL
Volumetric Runoff Coefficient, Cv	0.25 (Table F2)
75 <sup>th</sup> percentile 5 Day total rainfall depth	20.2mm
Catchment Area :	1 Ha (Unit Area)
Settling Zone Volume (per hectare), V <sub>sett</sub> (= 10 x Cv x A x R <sub>75</sub> )	50.5 m <sup>3</sup>
Disturbed Catchment Area	1 Ha (Unit Area)
R K L S P C (see above)	79 t/Ha/yr
30% of Settling Zone Volume	15.2 m <sup>3</sup>
Sediment Zone Volume, V <sub>sed</sub> (0.17 A (R K L S P C)/1.3 V <sub>sed</sub> should be >30% of V <sub>sett</sub>	10.33 m <sup>3</sup> < 30% V <sub>sett</sub> So = 50% Settling ZV = 25.3 m <sup>3</sup>
Total Sediment Basin Volume Required :	76 m <sup>3</sup> /Ha

BASIN MANAGEMENT

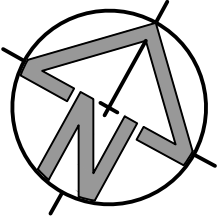
- 1
- THE CAPTURED STORMWATER IN THE SETTLING ZONE SHOULD BE DRAINED TO MEET THE MINIMUM STORAGE CAPACITY REQUIRED WITHIN A FIVE (5) DAY PERIOD FOLLOWING RAINFALL, PROVIDED THE ACCEPTABLE WATER QUALITY (NFR) AND TURBIDITY HAVE BEEN ACHIEVED.

2

CHEMICAL FLOCCULENT SUCH AS GYPSUM MAY BE DOSED TO AID SETTLING WITHIN 24 HOURS OF CONCLUSION OF EACH STORM. THE APPLIED DOSING RATES SHOULD ACHIEVE THE TARGET QUALITY WITHIN 36 TO 72 HOURS OF THE STORM EVENT.

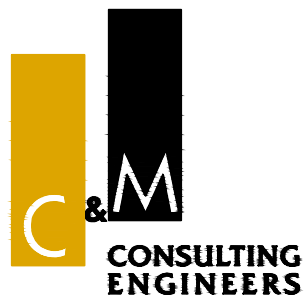


REV.	DRN.	DATE	CHK.	DESCRIPTION
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01	T.T.	27/04/22	E.S.	ISSUE FOR DA APPLICATION



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DESIGNER	E.S.	LGA	CAMDEN COUNCIL
ENGINEER	E.S.	SCALE @ A1	AS SHOWN
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36 TURNER ROAD, SMEATON GRANGE		
SEDIMENTATION & EROSION CONTROL		
STATUS	DEVELOPMENT APPLICATION	REVISION
DRAWING No.	02147_701	02





LANDSCAPE PLAN - Site Context

SMEATON GRANGE

Project:

SMEATON GRANGE  
PROPOSED CHILDCARE CENTRE  
36 TURNER ROAD, SMEATON GRANGE,  
NSW 2567

Date: 28.09.2022

Job Number: 220509

Drawing Number: DA\_01

Drawing Name: Context plan

Scale: 1:1000

For	Date	Date	Ver.
DA		190522	A
DA		150722	B
DA		280922	C

True North:







1. New street trees
2. Seating area with crushed gravel
3. Low maintenance plants
4. Sir grange turf
5. Seating area

## LANDSCAPE PLAN - Podium Anderson Rd

# SMEATON GRANGE

**Project:**

**SMEATON GRANGE  
PROPOSED CHILDCARE CENTRE**  
36 TURNER ROAD, SMEATON GRANGE,  
NSW 2567

**Date:** 28.09.2022

Job Number: 220509

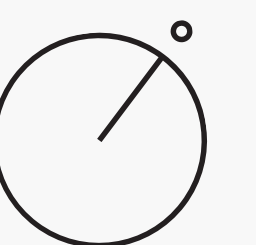
**Drawing Number:** DA\_02

**Drawing Name:** Podium - Anderson Rd

**Scale: 1:150**

For	Date	Date	Ver.
DA		190522	A
DA		150722	B
DA		280922	C

**True North:**







- LEGEND**
- ARTIFICIAL TURF
  - RUBBER SOFTFALL ZONE
  - TIMBER DECKING
  - COBBLES PAVING
  - PLANTER BED
  - RECYCLED BRICK PAVING
  - GRASS AND SHRUBS
  - SANDSTONE
  - SAND PIT

- 1. New street trees
- 2. Low maintenance plants
- 3. Sir grange turf

LANDSCAPE PLAN - Podium Turner Rd

SMEATON GRANGE

Project:

SMEATON GRANGE  
PROPOSED CHILDCARE CENTRE  
36 TURNER ROAD, SMEATON GRANGE,  
NSW 2567

Date: 28.09.2022

Job Number: 220509

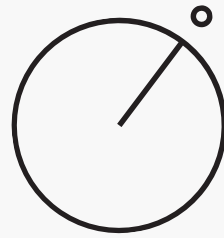
Drawing Number: DA\_03

Drawing Name: Podium - Turner Rd

Scale: 1:150

For	Date	Date	Ver.
DA		190522	A
DA		150722	B
DA		280922	C

True North:







1. Sand pit with shad over

2. Sensory garden with steppers

3. Sensory planters next to reading circle
4. Modular outdoor equipment

5. Timber deck transition zone

6. Storage

7. Natural turf

LANDSCAPE PLAN - Ground Floor Playscape

LEGEND

ARTIFICIAL TURF

RUBBER SOFTFALL ZONE

TIMBER DECKING

COBBLES PAVING

PLANTER BED

RECYCLED BRICK PAVING

GRASS AND SHRUBS

SANDSTONE

SAND PIT

NOTE: OUTDOOR PLAY AREA DESIGN IS SUBJECT TO CHANGE AND TO BE FINALISED AT CONSTRUCTION CERTIFICATE STAGE

SMEATON GRANGE

Project:

SMEATON GRANGE  
PROPOSED CHILDCARE CENTRE  
36 TURNER ROAD, SMEATON GRANGE,  
NSW 2567

Date: 28.09.2022

Job Number: 220509

Drawing Number: DA\_04

Drawing Name: Playscape plan 1

Scale: 1:100

For	Date	Date	Ver.
DA		190522	A
DA		150722	B
DA		280922	C

True North:







1. Timber deck transition zone

2. Outdoor dining

3. Raised herb garden

4. Timber bridge over wet creek bed

5. Insitu river pebble wet creek bed

6. Timber deck with pump

7. Raised sand pit

8. Raised planter

9. Outdoor kitchen

10. Open cubby

11. Raised planter with steppers

12. Soft fall mound nom 300mm

13. Multi surface bike track

14. Active fort area

15. Raised planter for trees

LANDSCAPE PLAN - First Floor Playscape

SMEATON GRANGE

Project:

SMEATON GRANGE  
PROPOSED CHILDCARE CENTRE  
36 TURNER ROAD, SMEATON GRANGE,  
NSW 2567

Date: 28.09.2022

Job Number: 220509

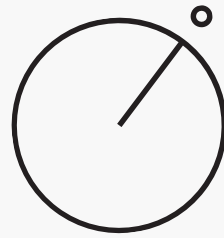
Drawing Number: DA\_05

Drawing Name: Playscape plan 2

Scale: 1:100

For	Date	Date	Ver.
DA		190522	A
DA		150722	B
DA		280922	C

True North:







- LEGEND
- ARTIFICIAL TURF
  - RUBBER SOFTFALL ZONE
  - TIMBER DECKING
  - COBBLES PAVING
  - PLANTER BED
  - RECYCLED BRICK PAVING
  - GRASS AND SHRUBS
  - SANDSTONE
  - SAND PIT

SMEATON GRANGE

Project:

SMEATON GRANGE  
PROPOSED CHILDCARE CENTRE  
36 TURNER ROAD, SMEATON GRANGE,  
NSW 2567

Date: 28.09.2022

Job Number: 220509

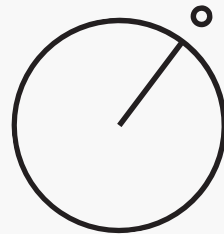
Drawing Number: DA\_06

Drawing Name: Roof garden 1

Scale: 1:100

For	Date	Date	Ver.
DA		190522	A
DA		150722	B
DA		280922	C

True North:



1. Natural soil mound with feature plant to planting plan  
2. Planter depth 600mm to architectural drawings

LANDSCAPE PLAN - Roof Garden





1. Natural soil mound with feature plant to planting plan
2. Planter depth 600mm to architectural drawings
3. Wall height 1200mm high to architectural drawings
4. Planter depth 900mm high to architectural drawings
5. Seating area

LANDSCAPE PLAN - Roof Garden

SMEATON GRANGE

Project:

SMEATON GRANGE  
PROPOSED CHILDCARE CENTRE  
36 TURNER ROAD, SMEATON GRANGE,  
NSW 2567

Date: 28.09.2022

Job Number: 220509

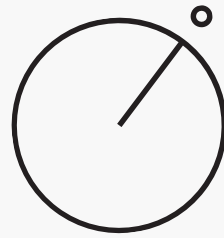
Drawing Number: DA\_07

Drawing Name: Roof garden 2

Scale: 1:100

For	Date	Date	Ver.
DA		190522	A
DA		150722	B
DA		280922	C

True North:







- LEGEND**
- ARTIFICIAL TURF
  - RUBBER SOFTFALL ZONE
  - TIMBER DECKING
  - COBBLES PAVING
  - PLANTER BED
  - RECYCLED BRICK PAVING
  - GRASS AND SHRUBS
  - SANDSTONE
  - SAND PIT

# SMEATON GRANGE

Project:

**SMEATON GRANGE  
PROPOSED CHILDCARE CENTRE**  
36 TURNER ROAD, SMEATON GRANGE,  
NSW 2567

Date: 28.09.2022

Job Number: 220509

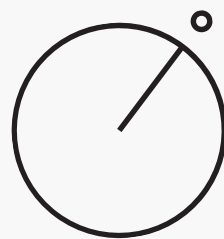
Drawing Number: DA\_08

Drawing Name: Roof garden 3

Scale: 1:100

For	Date	Date	Ver.
DA		190522	A
DA		150722	B
DA		280922	C

True North:



1. Natural soil mound with feature plant to planting plan
2. Planter depth 600mm to architectural drawings

## LANDSCAPE PLAN - Roof Garden





## PLANTING PLAN - Podium Anderson Rd

# SMEATON GRANGE

**Project:**

**SMEATON GRANGE  
PROPOSED CHILDCARE CENTRE**  
36 TURNER ROAD, SMEATON GRANGE,  
NSW 2567

**Date:** 28.09.2022

Job Number: 220509

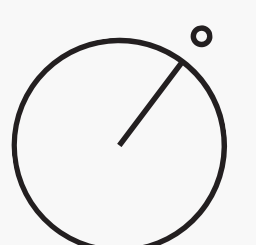
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**Drawing Name:** Planting plan 1

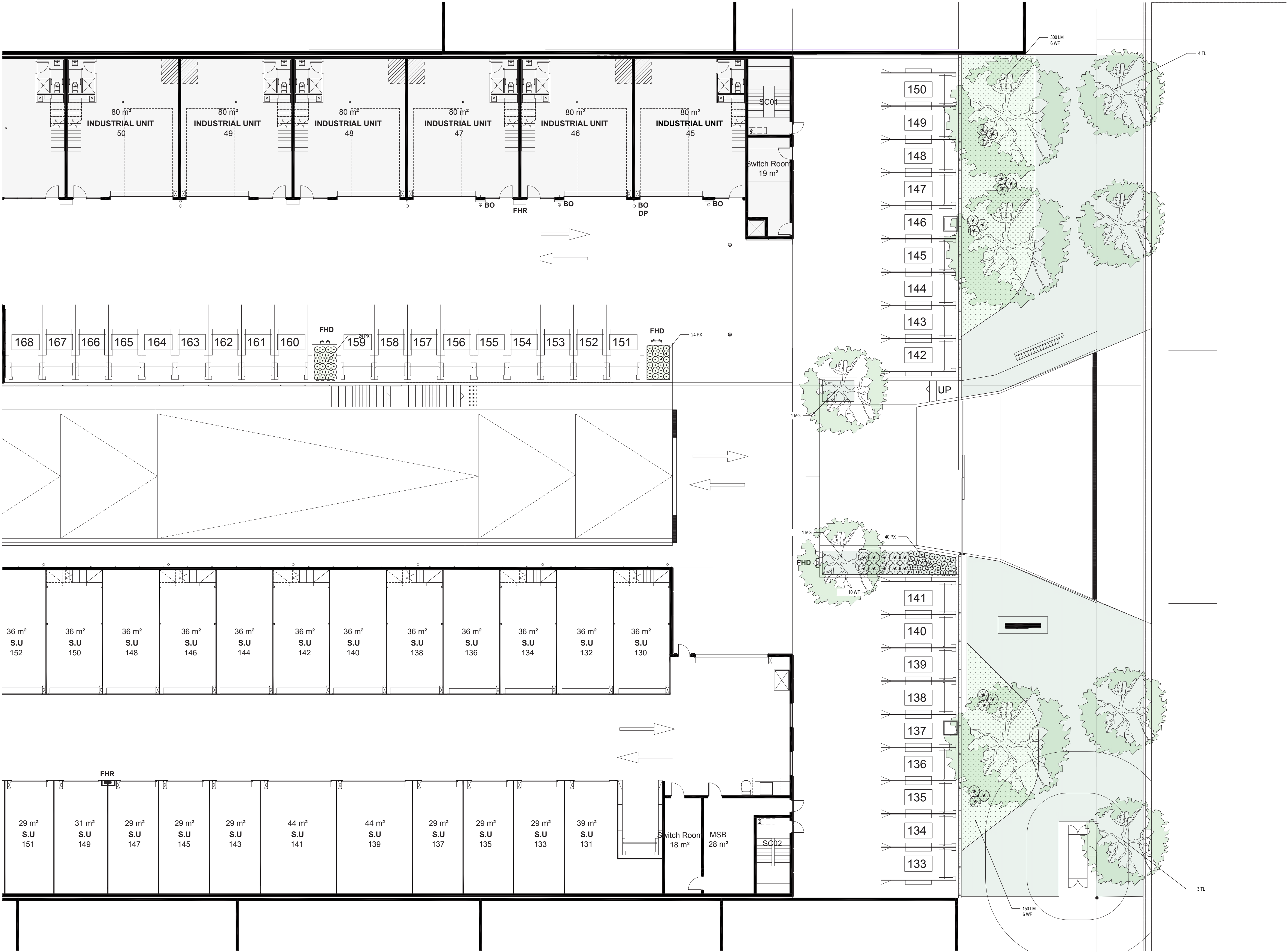
**Scale: 1:150**

For	Date	Date	Ver.
DA		190522	A
DA		150722	B
DA		280922	C

**True North:**







- LEGEND**
- PROPOSED GRASS
  - PROPOSED SHRUB PLANTING
  - RAIN WATER OUTLET
  - GRATED INLET
  - PROPOSED GROUND COVER
  - TOP OF PARAPET REDUCED LEVEL
  - TOP OF WALL REDUCED LEVEL
  - REDUCED LEVEL

# SMEATON GRANGE

Project:

**SMEATON GRANGE  
PROPOSED CHILDCARE CENTRE**  
36 TURNER ROAD, SMEATON GRANGE,  
NSW 2567

Date: 28.09.2022

Job Number: 220509

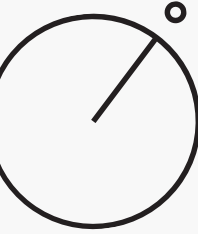
Drawing Number: DA\_10

Drawing Name: Planting plan 2

Scale: 1:150

For	Date	Date	Ver.
DA		190522	A
DA		150722	B
DA		280922	C

True North:



PLANTING PLAN - Podium Turner Rd





PLANTING PLAN - Ground Floor Playscape

# SMEATON GRANGE

Project:

**SMEATON GRANGE  
PROPOSED CHILDCARE CENTRE**  
36 TURNER ROAD, SMEATON GRANGE,  
NSW 2567

Date: 28.09.2022

Job Number: 220509

Drawing Number: DA\_11

Drawing Name: Planting plan 3

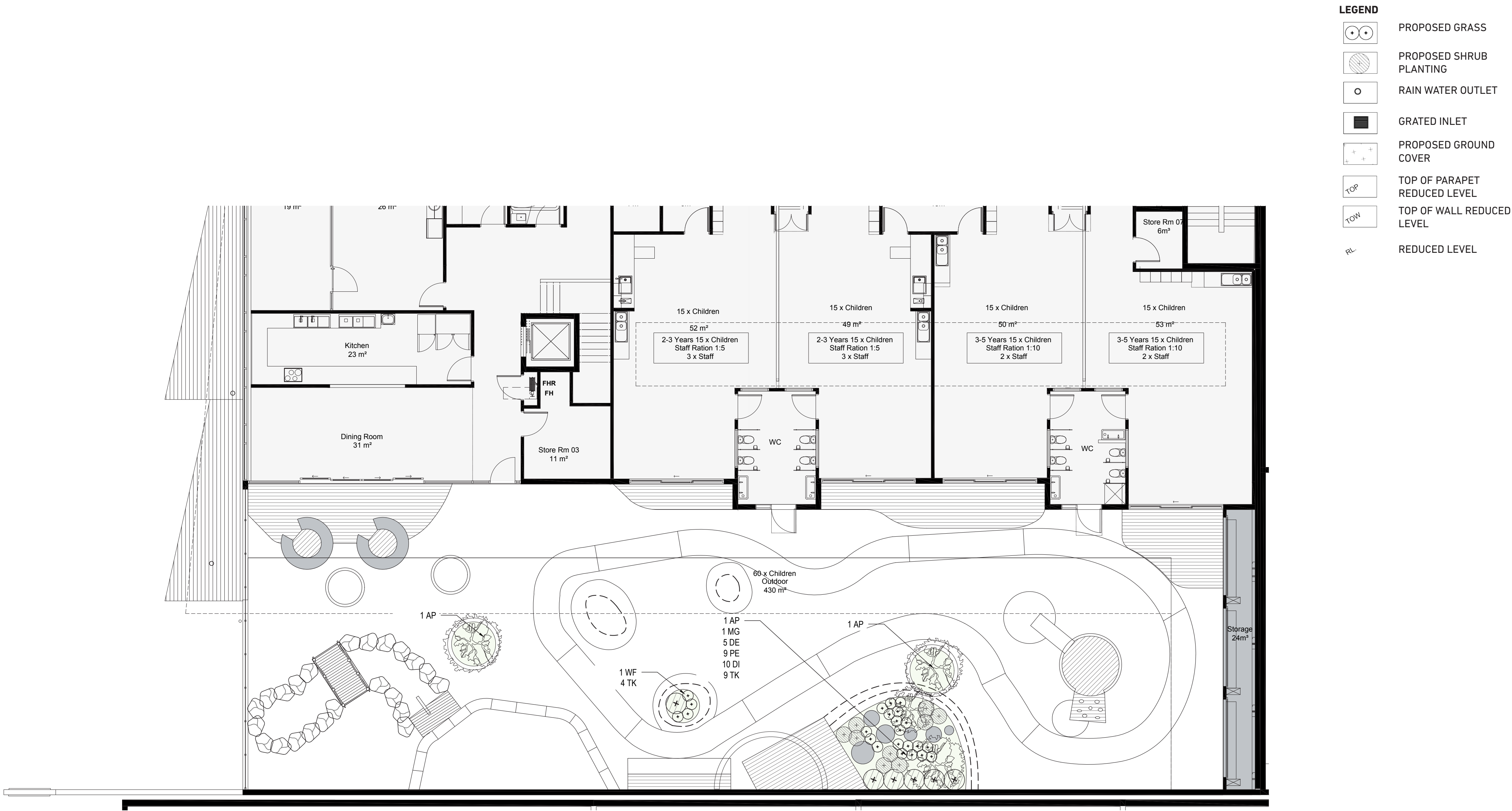
Scale: 1:100

For	Date	Date	Ver.
DA		190522	A
DA		150722	B
DA		280922	C

True North:







SMEATON GRANGE

Project:

SMEATON GRANGE  
PROPOSED CHILDCARE CENTRE  
36 TURNER ROAD, SMEATON GRANGE,  
NSW 2567

Date: 28.09.2022

Job Number: 220509

Drawing Number: DA\_12

Drawing Name: Planting plan 4

Scale: 1:100

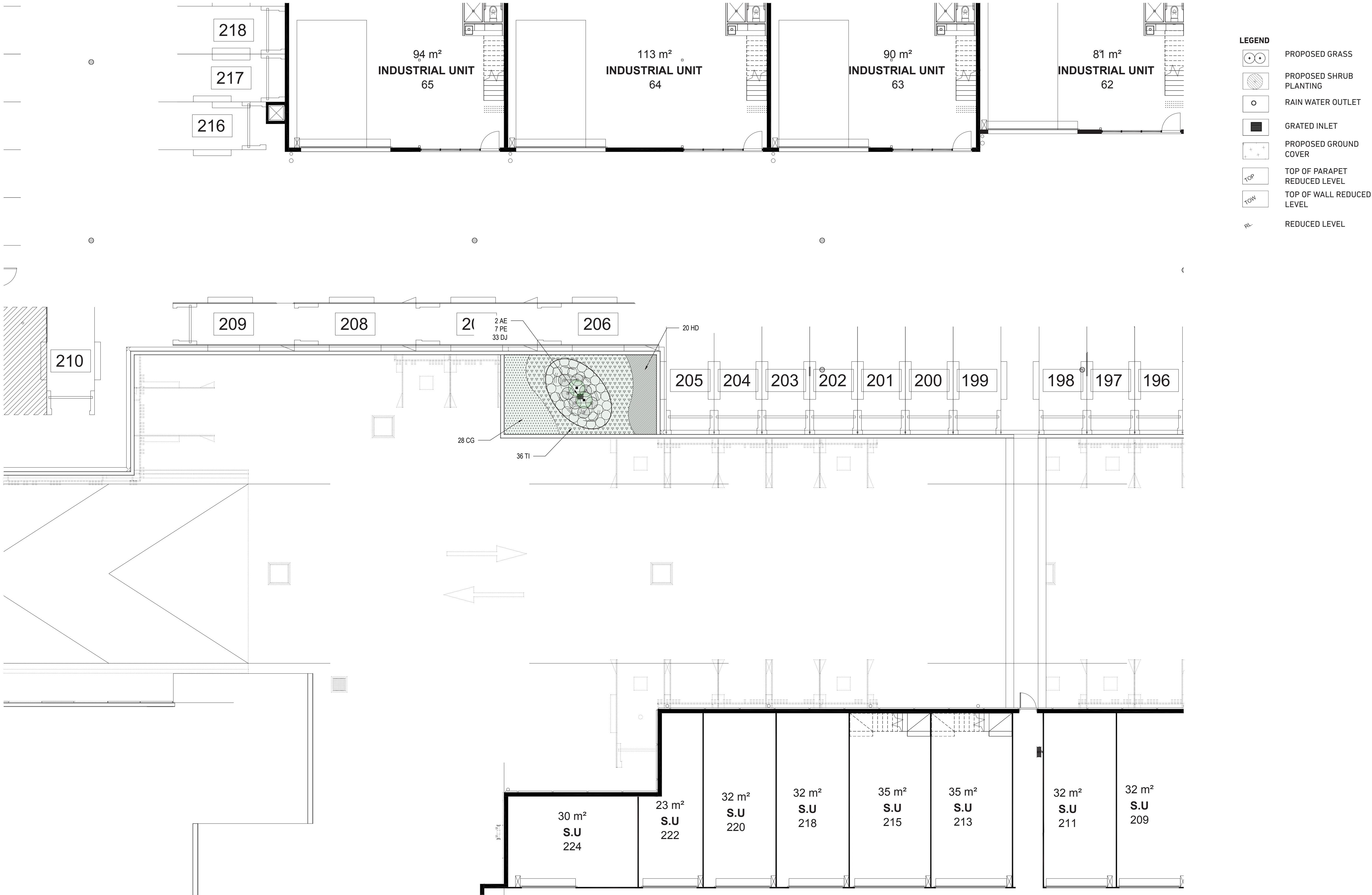
For	Date	Date	Ver.
DA		190522	A
DA		150722	B
DA		280922	C

True North:



PLANTING PLAN - First Floor Playscape





PLANTING PLAN - Garden Roo

# SMEATON GRANGE

Project:

**SMEATON GRANGE  
PROPOSED CHILDCARE CENTRE**  
36 TURNER ROAD, SMEATON GRANGE,  
NSW 2567

Date: 28.09.2022

Job Number: 220509

Drawing Number: DA\_13

Drawing Name: Planting plan 5

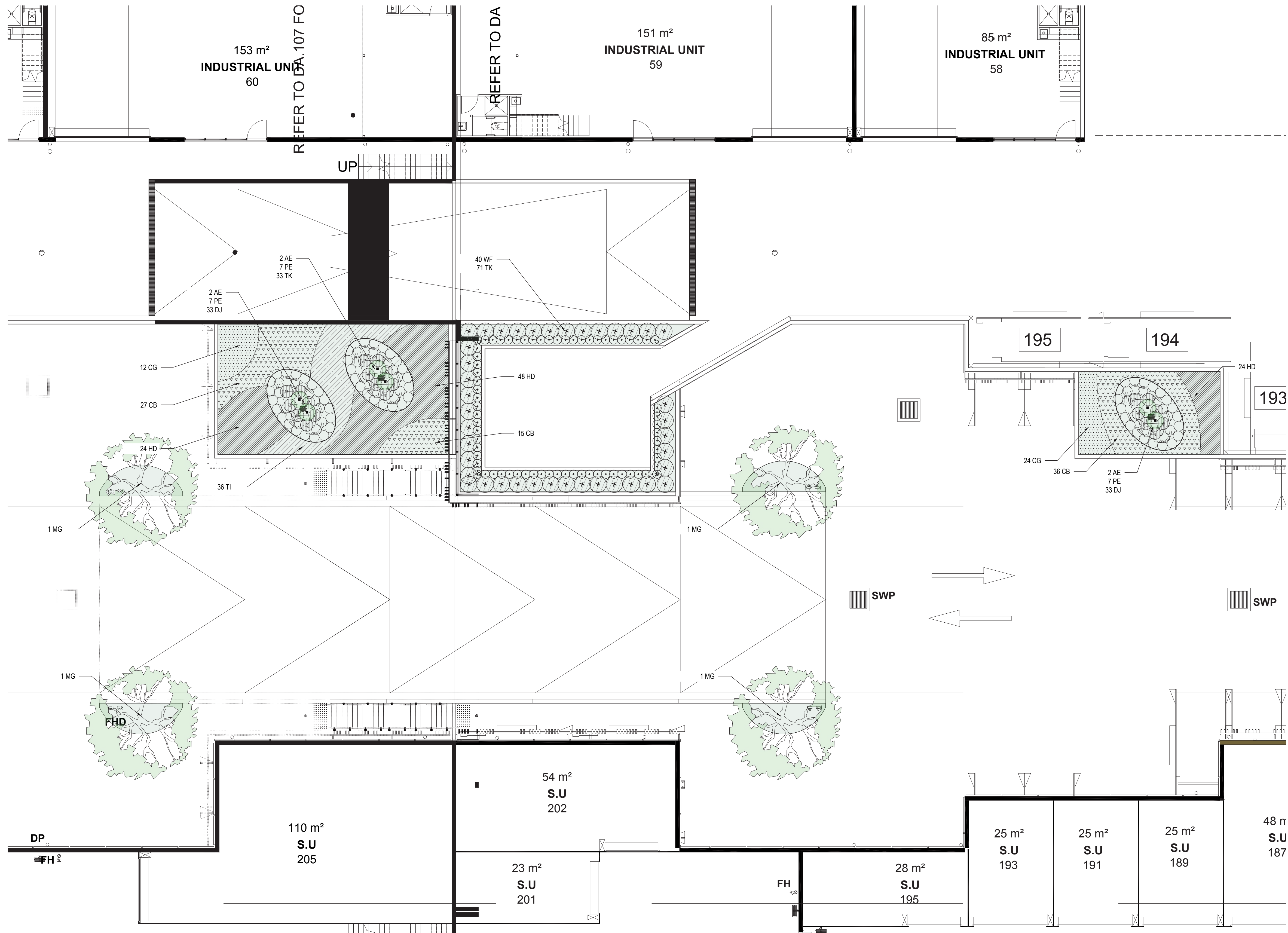
Scale: 1:100

For	Date	Date	Ver.
DA		190522	A
DA		150722	B
DA		280922	C

True North:







## PLANTING PLAN - Garden Roo

# SMEATON GRANGE

**Project:**

**SMEATON GRANGE  
PROPOSED CHILDCARE CENTRE**  
36 TURNER ROAD, SMEATON GRANGE,  
NSW 2567

**Date:** 28.09.2022

Job Number: 220509

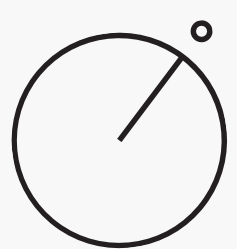
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**Drawing Name:** Planting plan 6

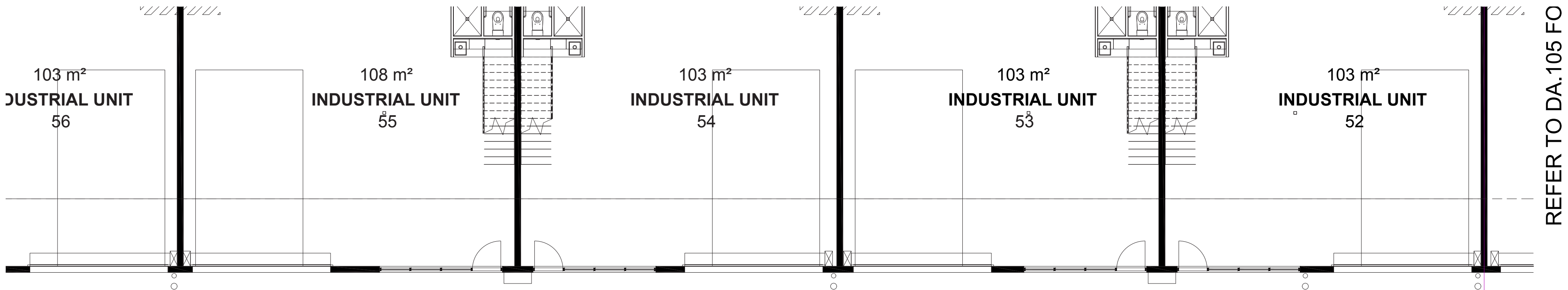
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For	Date	Date	Ver.
DA		190522	A
DA		150722	B
DA		280922	C

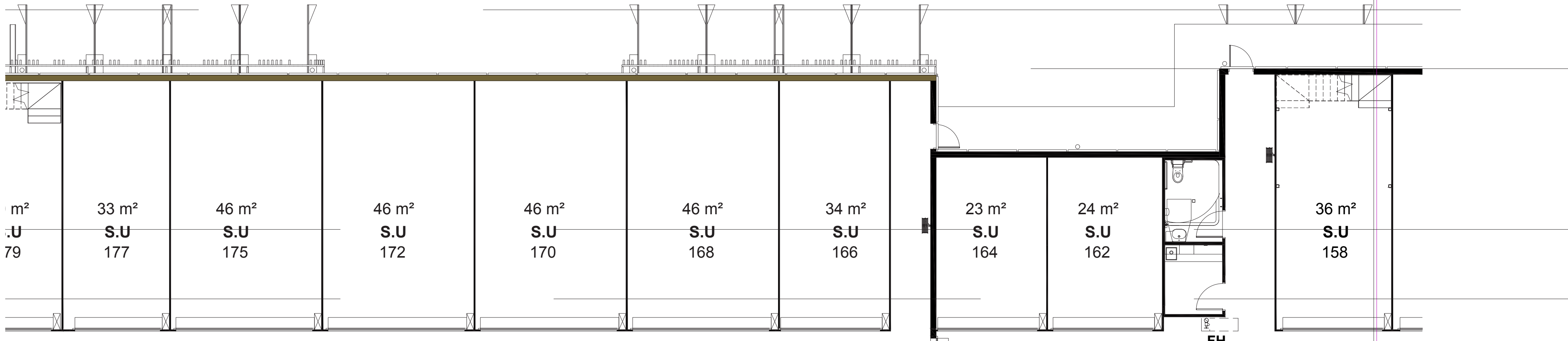
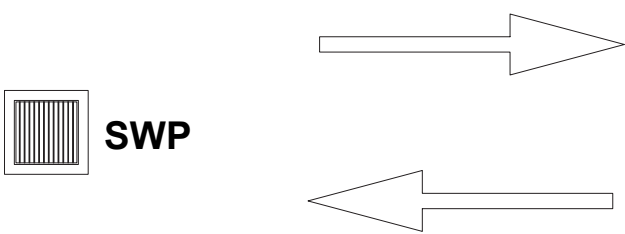
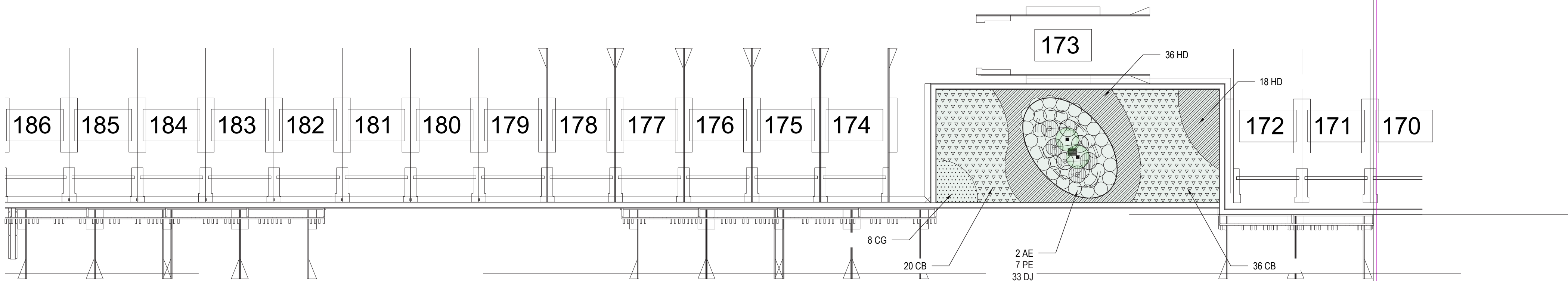
**True North:**







- LEGEND
- PROPOSED GRASS
  - PROPOSED SHRUB PLANTING
  - RAIN WATER OUTLET
  - GRATED INLET
  - PROPOSED GROUND COVER
  - TOP OF PARAPET REDUCED LEVEL
  - TOP OF WALL REDUCED LEVEL
  - REDUCED LEVEL



# SMEATON GRANGE

Project:

**SMEATON GRANGE  
PROPOSED CHILDCARE CENTRE**  
36 TURNER ROAD, SMEATON GRANGE,  
NSW 2567

Date: 28.09.2022

Job Number: 220509

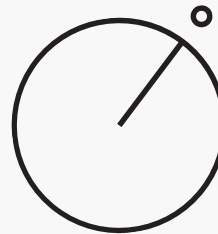
Drawing Number: DA\_15

Drawing Name: Planting plan 7

Scale: 1:100

For	Date	Date	Ver.
DA		190522	A
DA		150722	B
DA		280922	C

True North:



PLANTING PLAN - Garden Roo





Timber Deck transition zone & soft fall mounds



Raised sandpit with sandstone boulders and timber ramp access



Artificial grass sensory panel



Raised Herb Gardens



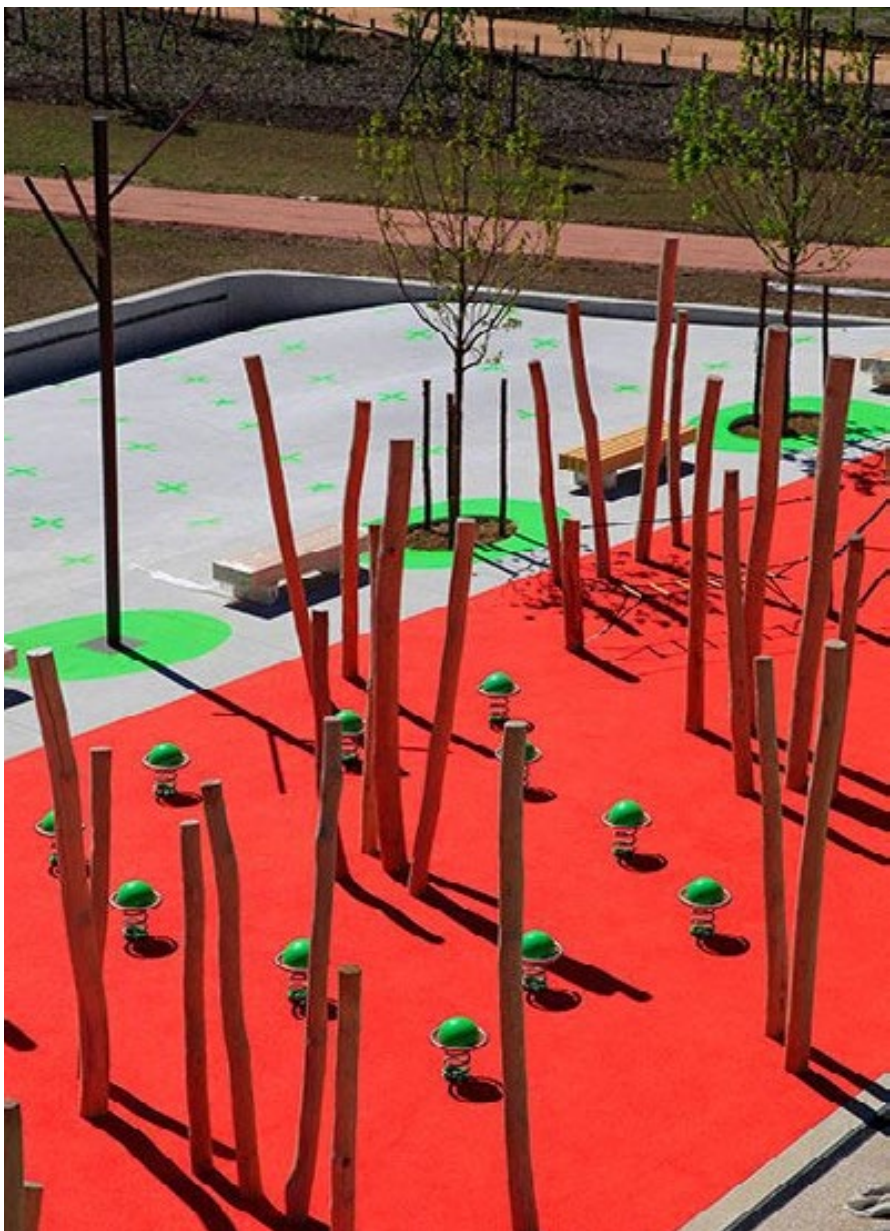
Multi-surface sensory paths



Timber log seats with cushion cover



Cobble stone sensory path



Totem poles



Circular timber forts



Seating nooks on raised timber platforms

PRECEDENTAL IMAGES

SMEATON GRANGE

Project:

SMEATON GRANGE  
PROPOSED CHILDCARE CENTRE  
36 TURNER ROAD, SMEATON GRANGE,  
NSW 2567

Date: 28.09.2022

Job Number: 220509

Drawing Number: DA\_16

Drawing Name: Precedental images

For	Date	Date	Ver.
DA		190522	A
DA		150722	B
DA		280922	C

True North:



TREES & PALMS



01



02



03

SHRUBS & ACCENTS



04



05



06



07

GRASSES



08



09



10



11



12

GROUND COVERS



13



14



15



16



17

PLANTING PALETTE

PODIUM ANDERSON RD - PLANTING SCHEDULE					
TREE & PALM					
CODE	BOTANICAL NAME	COMMON NAME	POT SIZE	SIZE (WxH)	NUMBER
AP	ACER PALMATUM	JAPANESE MAPLE	200 LTR	3X5	1
TL	TRISTANIOPSIS LAURINA	WATER GUM	200 LTR	5X15	6
SHRUBS & ACCENTS					
SYZ	SYZGIUM 'CASCADE'	LILLY PILLY	300 MM	2X4	8
WF	WESTRINGIA FRUCTOSA	COASTAL ROSEMARY	300 MM	2X4	21
GRASS					
LM	LIRIOPE MUSCARI	LIRIOPE	75 MM	N/A	330
PODIUM TURNER RD - PLANTING SCHEDULE					
TREE & PALM					
TL	TRISTANIOPSIS LAURINA	WATER GUM	200 LTR	5X15	7
MG					2
SHRUBS & ACCENTS					
PX	PHILODENDRON XANADU	XANADU	300 MM	2X2	88
WF	WESTRINGIA FRUCTOSA	COASTAL ROSEMARY	300 MM	2X4	22
GRASS					
LM	LIRIOPE MUSCARI	LIRIOPE	75 MM	N/A	450
GROUND FLOOR PLAYScape - PLANTING SCHEDULE					
TREE & PALM					
AP	ACER PALMATUM	JAPANESE MAPLE	200 LTR	3X5	4
FERN					
AN	ASPLENIUM NIDUS	BIRDS NEST FERN	200 MM	0.4X0.4	6
BL	BLECHNUM GIBBUM	BLECHNUM	200 MM	0.4X0.4	8
GRASS					
DI	DIETES BI-COLOUR	DIETE	140 MM	0.2X0.2	17
DJ	DIANELLA CAERULLEA 'LITTLE JESS'	LITTLE JESS	140 MM	0.2X0.2	17
PE	PENNISETUM ALOPECUROIDES	FOXTAIL PLANT	300 MM	1X1	9
TK	LOMANDRA LONGIFOLIA TANIKA	MAT RUSH	140MM	0.5X0.5	4
FIRST FLOOR PLAYScape - PLANTING SCHEDULE					
TREE & PALM					
AP	ACER PALMATUM	JAPANESE MAPLE	200 LTR	3X5	3
MG	MAGNOLIA GRANDIFLORA 'TEDDY BEAR'	TEDDY BEAR	200 LTR	4X4	1
SHRUBS & ACCENTS					
WF	WESTRINGIA FRUCTOSA	COASTAL ROSEMARY	300 MM	2X4	1
GRASS					
DE	DORYANTHES EXCELSA	GYMEA LILY	200MM	1X1	5
DI	DIETES BI-COLOUR	DIETE	140 MM	0.2X0.2	10
PE	PENNISETUM ALOPECUROIDES 'NAFRAY'	FOXTAIL GRASS	200MM	0.5X0.5	9
TK	LOMANDRA LONGIFOLIA TANIKA	TANIKA	140 MM	0.2X0.2	13
ROOF GARDEN - PLANTING SCHEDULE 1					
SHRUBS & ACCENTS					
AE	ASPIDISTRA ELATIOR	CAST IRON PLANT	300MM	1X1	2
GRASS					
DJ	DIANELLA LITTLE JESS	LITTLE JESS	300MM	1X1	33
PE	PENNISETUM ALOPECUROIDES 'NAFRAY'	FOXTAIL GRASS	200MM	0.5X0.5	7
HD	HELIANTHUS DEBILIS	BEACH SUNFLOWER	75MM	N/A	20
CG	CASURINA GLAUCAR	SWAMP OAK	75MM	N/A	28
TI	TETRAGONIA IMPLEXICOMA	BOWER SPINACH	75MM	N/A	33
ROOF GARDEN - PLANTING SCHEDULE 2					
TREE & PALM					
MG	MAGNOLIA GRANDIFLORA 'TEDDY BEAR'	TEDDY BEAR	200 LTR	4X4	4
SHRUBS & ACCENTS					
AE	ASPIDISTRA ELATIOR	CAST IRON PLANT	300MM	1X1	6
WF	WESTRINGIA FRUCTOSA	COASTAL ROSEMARY	300 MM	2X4	40
GRASS					
DJ	DIANELLA LITTLE JESS	LITTLE JESS	300MM	1X1	99
PE	PENNISETUM ALOPECUROIDES 'NAFRAY'	FOXTAIL GRASS	200MM	0.5X0.5	21
TK	LOMANDRA LONGIFOLIA TANIKA	MAT RUSH	140MM	0.5X0.5	71
HD	HELIANTHUS DEBILIS	BEACH SUNFLOWER	75MM	N/A	96
CB	CARPOBROTUS GALUDESCENS	PIGFACE	75MM	N/A	78
CG	CASURINA GLAUCAR	SWAMP OAK	75MM	N/A	36
TI	TETRAGONIA IMPLEXICOMA	BOWER SPINACH	75MM	N/A	36
ROOF GARDEN - PLANTING SCHEDULE 3					
SHRUBS & ACCENTS					
AE	ASPIDISTRA ELATIOR	CAST IRON PLANT	300MM	1X1	2
GRASS					
DJ	DIANELLA LITTLE JESS	LITTLE JESS	300MM	1X1	33
PE	PENNISETUM ALOPECUROIDES 'NAFRAY'	FOXTAIL GRASS	200MM	0.5X0.5	7
HD	HELIANTHUS DEBILIS	BEACH SUNFLOWER	75MM	N/A	54
CB	CARPOBROTUS GALUDESCENS	PIGFACE	75MM	N/A	56
CG	CASURINA GLAUCAR	SWAMP OAK	75MM	N/A	8

01. Tristaniopsis Laurina

02. Acer Palmatum

03. Magnolia Grandiflora

04. Wystringia Fructosa

05. Acmena Smithii Var Minor

06. Blechnum Gibbum

07. Asplenium Nidus

08. Pennisetum Alopecuroidesa

09. Dianella Caerullea 'Little Jess'

10. Dietes Bi-Colour
11. Lomandra Longifolia Tanika

12. Doryanthes Excelsa

13. Liriope Evergreen Giant

14. Carpobrotus Glasucescens

15. Helianthus Debilis

16. Casuarina Glauca 'Cousin It'

17. Tetragonia Implexicoma

SMEATON GRANGE

Project:

SMEATON GRANGE  
PROPOSED CHILDCARE CENTRE

36 TURNER ROAD, SMEATON GRANGE,  
NSW 2567

Date: 28.09.2022

Job Number: 220509

Drawing Number: DA\_17

Drawing Name: Planting palette

For	Date	Date	Ver.
DA		190522	A
DA		150722	B
DA		280922	C

True North:



LANDSCAPE SPECIFICATION

**1. Initial preparation:** Shall mean all preliminaries and all preparation works as necessary. Commencement of work by landscape contractor shall be deemed as proof of contractor’s acceptance of existing condition of site. No work shall be carried out until all underground services have been identified and accurately located and pegged by contractor.

All work on this site shall comply with appropriate and current australian standards and bca. Contractor shall be responsible for removal from site of all rubbish and debris encountered in areas to be landscaped.

**2. Earthworks:** Shall mean Excavation and earthworks as necessary Contractor shall undertake works as necessary to achieve levels and grades that allow for addition of materials as detailed to bring works to proposed finished levels. Contractor shall ensure that finished levels of garden beds remain below damp proof course on buildings and that finished soil levels in garden areas finish 30mm (after allowing for settlement) below level of adjacent pathways, retaining walls, kerbs or other containing edge.

**3. Masonry walling**  
Hydrasplit sandstone wall for raised sandpits **General**  
This item includes complete construction of approved structurally retaining walls. All walls to heights, details and locations as indicated on landscape plan (drawing no. Wd\_01), **Inspections**  
Provide minimum 48 hours notice to landscape architect for the following inspection(s) by landscape architect:

- Setout of exact location of all walling specified herein, prior to proceeding further;
- All waterproofing and drainage prior to backfilling of wall;
- Prior to installation of all sandstone

**4. Materials and workmanship**  
Erect all walling perfectly vertical and true to line. Walling shall be structurally sound, and to levels/heights as indicated on plan. All workmanship and materials shall be in accordance with current australian standard.

Waterproofing of masonry walls (where retaining) is a most important item and shall be carried out to highest standard possible. Waterproof masonry walls (where retaining) prior to installation of drainage layer (specified hereunder)

**5. Construction**  
Wall height and thickness: walling shall be constructed to heights as indicated on plan and reinforcement: place and fix reinforcement as specified during construction of walling. Mortar joints: provide nom. 10mm flush mortar joints between masonry units on both internal and external faces, providing open perpend to base course for drainage purposes.

Construction joints: install and allow for all vertical control/expansion joints in walls as required. Ensure that joints in walls, especially in junction areas, are sealed with approved compound.

Drainage & damp proof course: waterproof rear of all reinforced masonry retaining walls & boundary wall prior to incorporation of drainage layer to rear of wall. For drainage purposes, install 30-40mm thick, geofabric-wrapped atlantis wall panel drainage system (or equal), to rear of reinforced concrete block walls (where retaining). Install 75mm diameter agricultural drainage pipe (or equal) to bottom of drainage panels and connect such to stormwater disposal system. Install coarse aggregate in nom. 150mm wide layer to extend up back of retaining walls, finishing nom. 150mm above concrete footing. Install wall drainage system to approval of landscape architect and to supplier’s specifications.

Waterproof render: render mix shall be approved cement render mix, applied to internal face of walls. Add approved waterproofing compound (to manufacturer’s specification) to render mix used on internal face of walls. Store, handle and install render products and compounds to manufacturer’s specifications and recommendations. Render shall comply with appropriate australian standard. Apply approved cement render in nom. 12-15mm thick single coat by wood-floating. Finished surface shall be even, free from defects and

true to required surface (refer to detail on drawing no.Wd02).

Sandstone capping: walls shall be faced and capped with rock face sandstone. Capping material shall be 270mm wide x 75mm thick. Rockface sandstone shall be ‘mt white white’ as available from gosford quarries, or approved equivalent. Sandstone facing shall be laid in random pattern bond with jointing to be tight butted with concealed grouting. Sandstone works shall be left clean and free from , stains or blemishes on completion

Provisions: ensure that all required openings, holes, casings, grooves etc. To accommodate various services are planned for during construction, in order to avoid breaking or cutting of completed work wherever possible.

**6. Soil preparation to garden areas:**  
Shall mean preparation of all garden areas plus installation of topsoil mix and soil conditioner as necessary. Consolidated depth (that is, as necessary to allow for future settlement) of approved free draining organic topsoil mix. Allow for supply, installation and thorough cultivation (into 225mm depth of site soil beneath) of 75mm depth of if necessary (to landscape architect’s approval) to all general garden areas.

No work shall be carried out on garden areas whilst soil is wet, to avoid compaction of these areas. All bricks, pieces of timber and other debris shall be raked up from proposed lawn and garden areas and transferred to separate stockpile, to be removed from site by contractor at approved intervals. Prepared soil shall be allowed to cure prior to installing plants. Ensure that all garden areas drain satisfactorily. If drainage problems exist contractor shall advise landscape architect in writing and wait for further instructions. Complete soil preparation shall be to approval of landscape architect.

**7. Irrigation:** Shall mean complete supply and installation of approved drip irrigation system to all garden areas. Completed system shall be to approval of landscape architect and shall comply with all current authority requirements.

Drip irrigation system shall adequately cover all garden areas and shall be appropriate to and suitable for plants specified. Irrigation system shall be connected to mains water. Irrigation system to be controlled by automatic solenoid valves, with controller to be located in approved location. Automatic rain sensor shall be provided to prevent watering to areas during periods of rain or excess soil moisture.

Power supply shall be provided to an approved location by others and shall consist of a gpo with an approved locking device to prevent accidental disconnection of power to controller.

Ensure that all connecting pipe work is adequately covered with plastic and tape during installation, to ensure that no soil or other material can enter and block pipes. Contractor shall ensure that all garden areas as indicated above are satisfactorily irrigated, ensuring that soil is kept moist, not wet, to approval of landscape architect. Contractor shall check pressure of water supply on site and ensure that this is taken into account for both tender and final design/installation.

Twelve months warranty on irrigation system shall be provided by contractor, covering both materials and labour. Contractor shall fully detail and submit together with tender an outline of proposed system and equipment

**8. Paving:** General: lay all (i) random diamond cut sandstone paving (sealed) with rounded edges on nom 20mm mortar bed over r. Conc slab to nominated rl in locations as shown on landscape plan. Top of finished surface of paving shall be even.

Laying: lay paving to approved grades and with nom. 1:80 Falls to ensure that surface sheds water. And keep surfaces clean as paving is laid.

*Refer to typical details for paving types*

**9. Planting, fertilising and staking:**  
Shall mean all planting and fertilising works as necessary. Plants shall be as detailed on landscape plan and in schedule. No substitutes for species or cultivars named in schedule shall be accepted without prior consultation

with landscape architect. Plants shall be well grown, healthy, not soft or forced, nor root-bound. Plant development shall be of reasonable size, proportionate to size of container and habit of plant, and in vigorous growth.

All plants shall be watered immediately prior to planting and plant set-out approved by landscape architect prior to planting. Planting holes shall be dug to depth and slightly larger than width of plant root ball which they are to receive. Base of planting hole shall be loosened to a depth of 75mm and surface dressing of slow release fertilizer (equal to ‘osmocote’ or ‘nutricote’ 8-9 month release formulation, low phosphorous as appropriate), added to hole to manufacturer’s recommendations and worked into loosened soil at base of hole. Hole shall be filled with water, allowed to drain, and then plant installed into hole. Root ball shall then be back-filled with surrounding topsoil mix (as elsewhere specified and on completion of planting base of each stem shall finish level with top surface of soil. Dish shall be formed in soil around base of each plant to aid in water collection and absorption.

Trees to be staked shall be staked as indicated on plant schedule. Stakes shall be 38 x 38 x 1800mm long approved hardwood stakes, pointed at one end. Stakes shall be driven into ground a minimum of one third of their length or until firm, avoiding damage to root system of adjacent tree. Nominal 50mm wide hessian ties shall be fixed in figure of eight pattern to loosely secure trees to stakes at positions along trunk, so as to prevent damage to tree and to generally stabilise.

**10. Mulching: shall mean complete supply and installation of:** A. Nom. 75mm depth of approved 25mm garden mulch suitable for childcare centres from australian native landscapes ph: 9450 1444), to all garden areas following completion of planting . Cove mulch down to finish flush with containing edges and reduce to 25mm thick around base of stem of each plant.

**11.Completion:** Prior to completion, contractor shall make good any damaged areas. Contractor shall leave areas over which contractor has worked in tidy condition and to satisfaction of landscape architect. Contractor shall be responsible for removal from site of all unwanted material and debris resulting from this work.

**12.Maintenance:** Contractor shall maintain site for a period of 12 months- refer to maintenance schedule.